



**CITY OF DOVER**

## CITY OF DOVER – ORDINANCE

Ordinance Number: **O – yyyy.mm.dd -**  
Ordinance Title: Updating the Dover Zoning Ordinance  
Chapter: 170

The City of Dover Ordains:

### 1. PURPOSE

The purpose of this ordinance is to amend Chapter 170 of the Code of the City of Dover, entitled Zoning, by updating the Code to reflect changes in the community and in land use regulations.

### 2. AMENDMENT

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-6 “Definitions” as follows:

“**CHILD CARE HOME** means an occupied SINGLE FAMILY DWELLING in which child day care is provided for less than twenty four (24) hours per day, except in emergencies. A CHILD CARE HOME is subject to the CUSTOMARY HOME OCCUPATION requirements and requires a CUSTOMARY HOME OCCUPATION Certificate of Use. There are two types of CHILD CARE HOMES, as follows:

- (1) Group CHILD CARE HOME is a child day care for seven (7) to twelve (12) preschool aged children from one or more unrelated families. The twelve (12) children shall include all children residing with the caregiver in the home, except children ten (10) years of age or older. In addition to the twelve (12) children, up to five (5) children enrolled in a full day school program may also be cared for up to five (5) hours per day on school days and all day during school holidays. Applications require Technical Review Committee review, are subject to possible Site Review and PLANNING BOARD approval per Section 149-4.€3D of the Site Review Regulations.
- (2) Family CHILD CARE HOME is a child day care for up to six (6) preschool aged children from one or more unrelated families. The six (6) children shall include all children residing with the caregiver in the home, except children ten (10) years of age or older. In addition to the six (6) children, up to three (3) children enrolled in a full day school program may also be cared for up to five (5) hours per day on school days and all day during school holidays. A Family CHILD CARE HOME for up to three (3) children (at any one time and not including the provider’s own children) shall not require a CUSTOMARY HOME OCCUPATION Certificate of Use and does not require Technical Review Committee review.”

AND



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**“PORCH AND FENCE** means a private FRONTAGE set back from the front property line with an attached porch permitted to encroach beyond the BUILD TO LINES.”

### 3. AMENDMENT

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-8 “Zoning Map”, to read as follows:

“The location and boundaries of the Zoning Districts are hereby established as shown on a map entitled "Zoning Map of the City of Dover, New Hampshire"\*, dated ~~December 9~~ August 9, ~~2009~~2019\*, which accompanies and is hereby declared to be part of this chapter.

AND

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by replacing any use of the phrase “December 9, 2009” in reference to the zoning map with “August , 2019”.

### 4. AMENDMENT

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-25 “FLOODPLAIN DEVELOPMENT” subsection K (3) (c) (iii) to correct a citation within the ordinance as follows:

“Meet all standards of Subsection ~~E~~E.(1) and the elevation and anchoring requirements for MANUFACTURED HOMES in Subsections L.(3)(a) and (b).”

### 5. AMENDMENT

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-27.1 “Wetlands Protection District” section D(1)(a) defining a certified wetland scientists, in accordance with the State statute as follows:

“(i) A Certified Wetland Scientist is defined as: “a person who, by reason of his or her special knowledge of hydric soils, hydrophytic vegetation, and wetland hydrology acquired by course work and experience, as specified by RSA 310-A:84, II-a and II-b, is qualified to delineate wetland boundaries and prepare wetland maps; to classify wetlands; to prepare wetland function and value assessments; to design wetland mitigation; to implement wetland mitigation; to monitor wetlands functions and values; and to prepare associated reports, all in accordance with standards for identification of wetlands adopted by the New Hampshire Department of Environmental Services or the United States Army Corps of Engineers or its



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successor, and who has been duly certified by the board.” (RSA 310-A:76) If necessary, a botanist shall be used in conjunction with the wetlands scientist to identify wetland vegetation where required. The botanist shall have equivalent and practical experience to that of the wetlands scientist.”

### 6. AMENDMENT

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-12 “Applicability of Tables of Use and Dimensional Regulations By District” by revising the Dimensional Regulations Table in the Heritage Residential District (HR) footnote [\*] as follows:

“Deviations from these requirements are permitted by Conditional Use Permit, subject to the requirements of Section 170-20.B(1), where applicable.”

AND

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-12 “Applicability of Tables of Use and Dimensional Regulations By District” by revising the Dimensional Regulations Table in the Cochecho Waterfront District (CWD) footnote [3] as follows:

“[3]Any new construction along the existing CWD/R-12 zoning boundary (as described herein) shall conform to the following setbacks:

1. Structures and buildings shall be set back a minimum of seventy-five (75) feet from said boundary.
2. Pavement and parking shall be set back a minimum of twenty-five (25) feet from said boundary.

Boundary runs from the north ~~west corner~~ ern property line of the Tax Assessor's Map K lot 3 22-39; thence turning and running southerly until the southern property line of Tax Assessor's Map K lot 4-B, and turning and running westerly along the a line 400' parallel to Henry Law Avenue, until meeting Assessor's Map 22 lot 41, running northerly to intersection with Assessor's Map 22 lot 42, and running westerly along the southern property line of said Tax Assessor's lot 22-42 for a distance of approximately 520-980 feet to the northeast corner of Tax Assessor's Map 22 lot 22-33, thence running westerly to the northeast corner of Tax Assessor's Map 22 lot 22-12.”

AND



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Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-12 “Applicability of Tables of Use and Dimensional Regulations By District” by replacing the Dimensional Regulations Tables in each sub-district of the Central Business District (CBD) as attached, herein.

### 7. AMENDMENT

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-20 “Central Business District Regulations”, revising section D “Standards and regulations” as follows:

#### D. Standards and regulations

- (1) The standards for use and dimensions to be utilized within the CBD are shown on the tables at the end of the section. Included in each table are the following areas:
  - (a) District Purpose
  - (b) LOT Occupation Regulations
  - (c) Diagram of BUILDING HEIGHT
  - (d) Diagram of BUILD TO LINEs
  - (e) Special Regulations
  - (f) Permitted Uses
- (2) Through the issuance of a conditional use permit, BUILDING HEIGHT may be increased by one (1) story, which shall be setback from the allowed height to create a terrace, for either:
  - (a) Each subgrade story of parking provided on the site; or.
  - (b) Additional units resulting from this CUP are restricted so that the rent of said units conforms to the HUD Fair Market Rent rates, for Dover, published annually by the New Hampshire Housing Finance Authority.
- (3) General Guiding Principles for BUILDING Placement
  - (a) The goal of the BUILDING HEIGHT and BUILD TO LINE standards is the creation of a healthy and vital public realm through good STREET space.
  - (b) BUILDINGs are aligned and close to the STREET.



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- (c) The STREET is a coherent space, with consistent BUILDING forms on both sides of the STREET, creating a clear PUBLIC SPACE and community identity.
- (d) BUILDINGs oversee the STREET (and SQUARE) with active fronts contributing to a vital and safe PUBLIC SPACE.
- (e) Property lines are physically defined by BUILDINGs or STREET WALLs.
- (f) BUILDINGs are designed for an urban feel and situation. Views are directed to the STREET and the garden/courtyard, not toward the neighbors. However within the STREET wall alcoves or small courtyards are permitted to allow for seating and public access
- (g) Vehicle storage, garbage and mechanical equipment are kept away from the STREET.
- (h) Within the General, Mixed Use, and TOD sub-districts, new retail and commercial activities are located on the GROUND FLOOR. Residential activity is not permitted, except as follows:
  - 1. Where a BUILDING does not front directly onto a STREET or municipal parking lot, residential activity may be located on the GROUND FLOOR.
  - 2. If retail and commercial activities are located on the GROUND FLOOR of BUILDINGs not fronting directly onto a STREET or municipal parking lot, the HEIGHT of the BUILDING may be increased by one (1) story.
    - i. Any additional stories shall be setback to create a terrace, and approved via a Conditional Use Permit.
- (i) In the Downtown Gateway residential may be located on the GROUND FLOOR, however new retail and commercial activities are encouraged to be developed.
- (j) Parking (not including on-street parking) should be away from the STREETs and shared by multiple owners/users.
- (k) Historic character should be preserved and enhanced by context sensitive construction.

### 8. AMENDMENT



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Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-20 “Central Business District Regulations”, revising section E “STREETSCAPE” as follows:

### E. STREETSCAPE

- (1) Sites within the CBD shall be developed so that BUILDINGS are placed at or near the ~~STREET~~ STREET RIGHT-OF-WAY, along the outer edge of their sites and so as to ensure the unity of those ~~STREET~~ STREET RIGHT-OF-WAYs. Furthermore, these standards establish an environment that encourages and facilitates pedestrian activity. The Sub-District Sheets, Design Guidelines, and *Dover Streetscape Standards* will serve as a reference document for many of the elements below.
- (2) General Principles and Intent
  - (a) The STREETSCAPE
    - (i) The STREET and BUILDING façade receives more attention than the rest of the BUILDING.
    - (ii) STREETSCAPE elements, such as pavers, benches and waste-bins must be consistent within a project and adjacent properties where these elements are present.
    - (iii) PUBLIC ART is encouraged.
      - a. PUBLIC ART shall be reviewed and endorsed by the Dover Arts Commission.
      - b. Diversity of PUBLIC ART including paintings, sculptures, interactive, or passive artwork should be reviewed.
      - c. Celebrating Dover’s maritime heritage is desirable. This can be done with interactive water features (eg. a fountain) or through depictions of river activity.
  - (b) FRONTS AND REARS
    - (i) BUILDING facades are the public "face" of every BUILDING. Owners are encouraged to place planters and window boxes with flowering plants and/or climbing vines along the area in front of their BUILDINGS.



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- (ii) The private, REAR portions of the LOTs allow commercial operators to utilize these spaces as efficient working environments unseen by the public and allow residents to have private and semi-private (for apartment and condominium BUILDINGs) OPEN SPACE.

### (c) OFF STREET PARKING

- (i) Parking provided for a project shall be screened from the STREET. The design of the screen shall be subject to PLANNING BOARD approval and shall use materials that are compatible with the surrounding character of the NEIGHBORHOOD and contribute to an attractive STREETScape.
- (ii) Parking shall be considered accessory and shall not be the principal use of a LOT.

### (3) Minimum Standards

In addition to any regulations set forth in the CBD sub-district tables and the *Dover Streetscape Standards*, development shall follow the regulations outlined below. Subsections (a), (b), and (c) shall only apply to new construction and/or renovations that will result in a 50% or more increase in the value of the property, as determined by a licensed New Hampshire appraiser.

#### (a) STREET TREES/Landscaping

- (i) Each STREET shall have canopy shade trees (STREET TREES). STREET TREES shall be planted at an average spacing not greater than twenty-five (25) to thirty (30) feet on center (measured per BLOCK FACE). The planting area's minimum dimension shall be not less than five (5) feet. At planting, trees shall be two and a half (2.5) to three (3) inches in diameter (four (4) feet above grade) and shall meet the *American Nursery Standards* for HEIGHT. The tree species used shall be selected from the City of Dover's approved list of STREET TREES.
- (ii) ~~Any unpaved ground area fronting the LOTs (to the curb) shall be planted with groundcover or flowering vegetation~~ Unpaved ground area along the frontage shall be planted with appropriate groundcover or shrubs, no bare ground or mulch-only areas permitted. Low Impact Development techniques such as rain gardens, bioretention areas, tree boxes and other green infrastructure techniques shall be incorporated into these landscaped areas and maintained to ensure five foot (5') wide walkway.

#### (b) SIDEWALKs



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- (i) SIDEWALKS shall be made of brick or concrete and shall be a minimum of five (5) feet wide but ideally eight (8) feet wide.
  - (ii) Existing surrounding sidewalk materials shall be reviewed in determining material used.
- (c) STREET FURNITURE
- (i) Benches - Benches will have backs and arm rests and be accessible. See sub-district tables for spacing requirements. Benches shall be oriented to encourage social interaction, and be designed to enhance the site, not detract from it.
    - a. Benches may be exchanged for street furniture (eg chess/checker tables) where space allows.
  - (ii) Waste Bins - At a minimum, one (1) waste bin will be provided at each BLOCK CORNER.
  - (iii) Bike Racks – At a minimum, one (1) bike rack shall be required per non-residential project or residential projects with five (5) or more units.
- (d) Lighting
- (i) Materials and equipment chosen for lighting fixtures should be durable, energy efficient, and weather well. Appropriate lighting is desirable for nighttime visibility, crime deterrence, and decoration. However, lighting that is too bright or intense creates glare, hinders night vision, and creates light pollution.
  - (ii) At the front of the BUILDING, exterior lights shall be mounted between six (6) feet and fourteen (14) feet above the adjacent grade.
  - (iii) Floodlights or directional lights may be used to illuminate parking garages and working (maintenance) areas but must be shielded or aimed in such a way that they do not shine into other LOTS, or the STREET. Floodlighting shall not be used to illuminate BUILDING walls (i.e. no up-lighting), except in the TOD sub-district.
  - (iv) Site lighting shall be of a design and HEIGHT so as to illuminate only the LOT.



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- (v) No flashing, traveling, animated, or intermittent lighting shall be visible from the STREET on the exterior of any BUILDING, whether such lighting is of temporary or long-term duration.
- (e) Mechanical Equipment
  - (i) The following shall not be stored or located within any STREET, and be screened from view from the STREET: Air compressors, mechanical pumps, exterior water heaters, water softeners, utility and telephone company transformers, meters or boxes, garbage cans, storage tanks, and the like may not be stored or located within any area considered a FRONT YARD under this Code.
  - (ii) Roof mounted equipment shall be screened from view from the STREET.

### 9. AMENDMENT

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-20 “Central Business District Regulations” revising section F “Architectural Standards” as follows:

#### F. Architectural Standards

The following standards ~~are optional~~ including those noted on sub-district sheets) and may be utilized by the APPLICANT. ~~An APPLICANT’s election not to submit architectural standards shall not adversely prejudice the application.~~

##### (1) General Principles and Intent

###### (a) Tradition

- (i) These standards favor BUILDINGS that are traditional in design in a broad sense. They specify an architectural language of load-bearing walls and regional materials that help define BUILDING base and cornice. These standards encourage details, such as column and pier spacing, window proportions, entry level, roof or cornice configurations, storefronts, and overhangs.
- (ii) The intent behind these standards is to reinforce the existing character and historic nature of Dover’s central business district. However, modern BUILDINGS that are sensitive to that character and their adjacent context may be permitted as well



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(iii) All BUILDING materials to be used shall express their specific properties. For example, stronger and heavier materials (masonry) support lighter materials (wood).

(b) Energy Efficiency and Environmental Conservation

(i) LEED (Leadership in Energy and Environmental Design) standards, or an equivalent standard (or such others as may succeed them), are encouraged to be incorporated into the BUILDING design.

(c) PUBLIC SPACE

(i) Many of these standards apply only in conditions that enhance and define the PUBLIC SPACE. These controls concentrate on the PUBLIC SPACE/views from the PUBLIC SPACE and minimize interference in the private realm.

(2) BUILDING Walls (Exterior)

(a) BUILDING walls should reflect and complement the traditional materials and techniques of Dover’s architecture. They should express the construction techniques and structural constraints of traditional, long-lasting, BUILDING materials. Simple configurations and solid craftsmanship are favored over complexity and ostentation in BUILDING form and the articulation of details. All BUILDING materials to be used shall express their specific properties. For example, heavier more permanent materials (masonry) support lighter materials (wood)-, yet architectural detail shall be present throughout the building face horizontally and/or vertically rather than just on the first twenty feet (20’) from the ground.

(b) BUILDING materials shall be context sensitive and shall reflect a consistency to be found within the sub-district.

(i) Brick, stone or masonry BUILDING materials are ~~encouraged~~ expected for exterior walls.

(3) Roofs and PARAPETS

(a) Roofs and PARAPETS should demonstrate a commonsense recognition of the climate by utilizing appropriate pitch, drainage, and materials.

(b) BUILDINGS without visible roof surfaces and overhanging eaves may have a cornice projecting horizontally between six (6) and twelve (12) inches beyond the



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BUILDING walls. For BUILDINGS three stories or taller, the cornice projection shall increase an additional six (6) and twelve (12) inches per STORY.

- (c) Skylights and roof vents are permitted only on the roof plane opposite the primary STREET or when shielded from the STREET view by the BUILDING’s PARAPET wall. If a glass roof form is a primary design feature of a building it shall be considered in regard to the architectural design guidelines as part of the building elevations rather than a skylight.
- (d) Overly elaborate, “postmodern” and/or “high-tech” designs are discouraged, where in conflict with existing architecture. However, ornamentation which contributes to the character of the BUILDING is encouraged. BUILDING designs need to reflect the adjacent massing. Ornamentation should be consistent with that used in the NEIGHBORHOOD of BUILDINGS to reinforce the fabric and richness of the community.
- (e) Green roof technologies are encouraged in all districts. Use of this technology to cover thirty percent (30%) of the roof is required on commercial and mixed-use structures over 25,000 square feet in the CBD. Vegetative cover should be considered for flat roofs and solar panels should be considered for integration into pitched roof roofed STRUCTURES. Roofs that contain gardens or plants must be maintained per the approved maintenance agreement.
- (f) Solar panels are desirable citywide.
  - i. In the CBD all buildings must be solar ready.
  - ii. Commercial and mixed-use buildings that are 25,000 sq ft or more must incorporate solar panels.
  - iii. Solar panels must be presented in an aesthetically pleasing pattern.

#### (4) STREET WALLS

- (a) STREET WALLS establish a clear edge to the STREET in locations where the BUILDINGS do not. The CBD requirements include masonry walls that define outdoor spaces and separate the STREET from the private realm (parking LOTS, trash cans, gardens, and equipment). All STREET WALL façades shall be as carefully designed as the BUILDING façade, with the finished side out, i.e. the “better” side facing the STREET.



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### (5) Windows and Doors

- (a) Windows should be divided by multiple, vertical panes of glass. This helps the window “hold” the surface of the façade, rather than appearing like a “hole” in the wall (an effect produced by a large single, horizontal sheet of glass).
- (b) PRINCIPAL BUILDING entrances shall be clearly visible from the primary front STREET and create a safe and inviting space.

## 10. AMENDMENT

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-30.2 “Application Procedures” by revising the listed fees and referring to the Fee Schedule as follows:

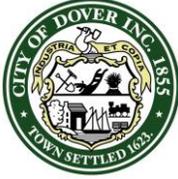
“

- (1) A filing fee of ~~fifty dollars (\$50.00)~~ as contained within the Fee Schedule plus ABUTTER notification postage shall be paid upon submission of an application, to defray the costs of posting notice for the public hearing. Failure to pay such cost shall constitute grounds for the PLANNING BOARD to not accept the application.
- (2) A permit fee as contained within the Fee Schedule of ~~seventy-five dollars (\$75.00)~~ shall be paid upon the issuance of a permit, to defray the costs of permit compliance.
- (3) A fee payable to the Strafford County Register of Deeds (SCRD) shall be paid upon approval, for the filing of any new plan, if so required by the PLANNING BOARD.
- (4) Additional reasonable fees shall be charged should the PLANNING BOARD require the advice of an engineer or other expert to review plans or inspect the site to determine permit compliance.”

## 11. AMENDMENT

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-33 “FENCE Review and Regulations”, by revising Section C as follows:

“C. Exceptions. The provisions described in Subsection A shall not apply in Industrial (I-2), Restricted Industrial (I-1), Thoroughfare Business (B-3), Central Business (CBD), OFFICE (O), and Cochecho Waterfront (CWD) Zoning Districts, or whenever the ZONING BOARD OF ADJUSTMENT, as a condition attached to the granting of a



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variance or special exception to this Chapter, requires for screening purposes a FENCE exceeding ~~six~~-eight (68) feet.”

### 12. AMENDMENT

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-53 “Amendment Procedure” by revising Section E, subsection 7 as follows:

“(7) A non-refundable fee as contained within the Fee Schedule ~~in the fifty dollars (\$50.00)~~ to cover the cost of the newspaper notice, and a non-refundable fee as contained within the Fee Schedule ~~of one dollar (\$1.00)~~ per landowner and ABUTTER required to be notified per Section D (2).”

### 13. TAKES EFFECT

This ordinance shall take effect upon passage and publication of notice as required by RSA 47:18.

## AUTHORIZATION

Approved as to Funding: Daniel R. Lynch  
Finance Director  
Sponsored by: Councilor Dennis Ciotti  
City Council Planning Board Representative

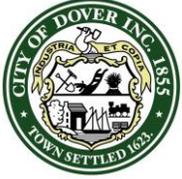
Approved as to Legal Form and Compliance: Anthony Blenkinsop  
City Attorney

Recorded by: Susan Mistretta  
City Clerk

### DOCUMENT HISTORY:

First Reading Date:	Public Hearing Date:
Approved Date:	Effective Date:

### DOCUMENT ACTIONS:



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VOTING RECORD		
Date of Vote:	YES	NO
Mayor, Karen Weston		
Deputy Mayor, Robert Carrier		
Councilor Michelle Moffet Lipinski, Ward 1		
Councilor Dennis Ciotti, Ward 2		
Councilor Deborah Thibodeaux, Ward 3		
Councilor Marcia Gasses, Ward 4		
Councilor Dennis Shanahan, Ward 5		
Councilor Matthew Keane, Ward 6		
Councilor Lindsey Williams, At Large		
Total Votes:		
Resolution does   does not pass.		

### ORDINANCE BACKGROUND MATERIAL:

# CBD Transit Oriented Development Sub-District



The information included in this table represents the requirements for development in this sub-district; see Section 170-20 for additional requirements (Adopted \_\_\_\_, Amended \_\_\_\_).

## STATEMENT OF PURPOSE

This is an area ripe for redevelopment. This area west of Chestnut Street was once the home of coal yards, warehouses, and other supporting structures for the rail line that passes through it. The rail line will be the key to its future success as well. In combination with the associated transportation center, transportation is the key to future development here. It is envisioned that this could be an area of very dense development along the banks of the Cochecho River. A wide variety of uses is intended here, with residences dominating upper levels, and retail and commercial activity dominating lower levels.

## DIMENSIONAL REGULATIONS\*

Principal Building	
Lot Size	N/A
Lot Coverage	75%-100%
Frontage Build-Out	80% min.
Front Primary BUILD TO LINE	0 ft. min - 0 ft. max
Front Secondary BUILD TO LINE	0 ft. min - 0 ft. max
Side Setback	10 ft. min, 25 ft max
Rear Setback	0 ft. min, 25 ft. max
Outbuilding	
Front Setback	Not permitted
Side Setback	Not permitted
Rear Setback	Not permitted
Private Frontages	
Common Yard	Not permitted
Porch and Fence	Not permitted
Terrace/Lightwell	Not permitted
Stoop	Permitted
Shopfront/Awning	Permitted
Gallery	Permitted
Height of Building	
Principal Building	5 story max, 3 story min
Outbuilding/Accessory	Not permitted

\*CUP (170-20B) may be used to adjust standards.

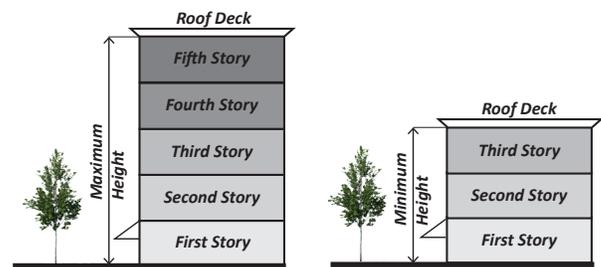
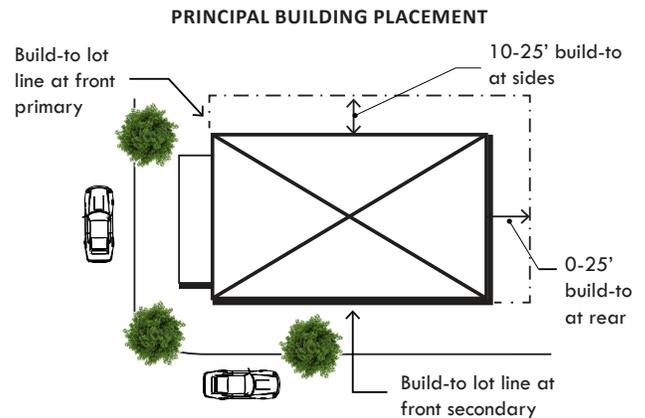
## PARKING LOCATION STANDARDS (SEE 149-14)

New construction resulting in additional square footage, or an increase in residential units, must comply with parking standards for the new portion of the building only.

## PERMITTED USES\*

Use	
Residential	Permitted but not on Ground Floor, except as existing use
Lodging	Permitted
Professional Services & Offices	Permitted
Eating & Drinking Establishments	Permitted
Retail/Personal Services	Permitted
Industrial	Not permitted
Civic	Permitted
Drive-Thru Services	Not permitted
Other	Via Conditional Use Permit

\*CUP (170-20B) may be used to adjust standards.



PRINCIPAL BUILDING HEIGHTS

## SIGN REGULATIONS

Sign Size & Quantity	
Total signs permitted	2
Total area of all signs	1 sf per lf of frontage- area may be increased if mill motif is adhere to
Sign Type	
Freestanding	Not permitted
Projecting	Permitted- 10 ft. min. above sidewalk, 25 ft. max height, 24 sq. ft. max.
Wall/Awning	Permitted- 40 sq. ft. max.
Temporary	Permitted per- 170-32.Q (1)

## ARCHITECTURAL STANDARDS\*

Preserving and enhancing the architectural tradition, history, and visual appeal of the Central Business District is integral to maintaining the character and identity of our community. Buildings designs and materials should enhance the appearance of Dover, reinforce pedestrian character where appropriate, reflect a consistency found within the sub-district, neighboring buildings, and natural and cultural resources. Building design should also minimize potential aesthetic conflicts between residential and nonresidential uses and between single family and multifamily uses. Architectural Standards are not intended to stifle creativity or variety, but produce designs respectful of place and context. **For more information, please see Section \_\_\_ of Dover's CBD Architectural Design Guidelines.**

The following **Architectural Standards** must apply for a residential building with 5 units or more and all mixed use/non-residential uses. Applicants will also be expected to prepare a narrative explaining how the project meets all of the architectural standards.

### Ground Floor standards:

- No less than 30% of the façade shall be windows.
- A pedestrian entrance shall be required at the street side or front façade.
- No more than 80% of any street façade shall be for parking.
- The use of ground floor exterior lighting on the building should offer a feeling of warm security and increase safety for pedestrians without being overwhelming.

### Required standards include:

- Building designs shall be harmonious with neighboring structures in terms of mass, width, height, proportion, spacing, and setback.
- All exterior walls that front on a public way with adjacent pedestrian traffic/infrastructure must incorporate wood, brick, stone or a suitable contemporary material appropriately detailed within the first 20 vertical feet.
- Large structures shall be broken into smaller masses to provide human scale, variation, and depth.
- The design of the building shall incorporate views that are directed to the street and garden/courtyard rather than adjacent neighbors.
- Buildings shall be placed at or near the street, along the outer edge of their sites, to ensure the unity of those streets and to encourage and facilitate pedestrian activity.
- Building design shall enhance the pedestrian environment and streetscape.
- Utility elements shall be screened in an aesthetically pleasing manner.
- Solar/Green Roof Standard:
  - All buildings must be solar ready
  - Commercial and mixed use buildings that are 25,000 sq ft or more must also incorporate solar panels and a green roof on at least 30 percent of the roof area.

### Optional standards include:

- Use of architectural details and changes in depth are encouraged on building elevations to increase visual interest and scale.
- Ornamental roof features that exceed the allowed building height are subject to the CUP process.
- Energy efficient design techniques, LEED standards, or an equivalent standard are encouraged.
- Other integrated green infrastructure elements are encouraged.

*\*CUP (170-20B) may be used to adjust standards.*

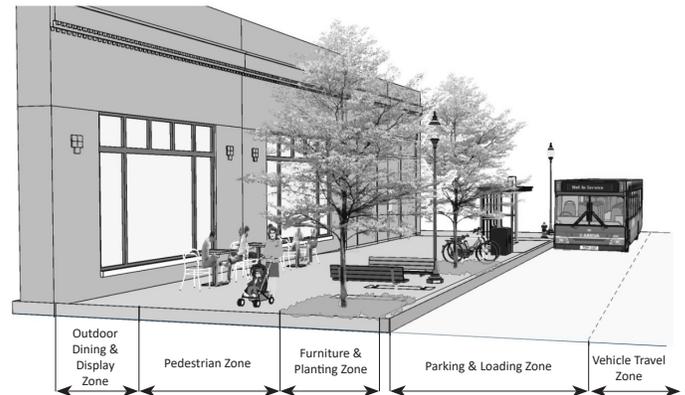
## STREETSCAPE STANDARDS

Streetscape standards were crafted to ensure streets in transportation oriented, mixed use areas of the CBD accommodate pedestrians and bicyclists and facilitate alternative transportation travel. All street elements must be consistent with Dover Streetscape and Landscape Standards. **For more information on streetscape standards, please see Section \_\_\_ of Dover's CBD Architectural Design Guidelines.**

- Sidewalks shall be brick and a minimum of 5 feet wide.
- Street trees shall be planted at an average spacing of 25 to 30 feet on center. Planting method shall allow for maximum root zone space where possible. Existing healthy street trees shall be protected, if possible.
- Unpaved ground area along the frontage shall be planted with appropriate groundcover or shrubs, no bare ground permitted. Low Impact Development techniques such as rain gardens, bioretention areas, tree boxes and other green infrastructure techniques shall be incorporated into these landscaped areas and be maintained to ensure 5 feet wide walkways.
- Projects shall be designed to maintain and enhance, the quality of vehicular, bicycle and pedestrian circulation and safety on affected public streets.
- Street furniture shall, at a minimum, be provided as follows:
  - 1 bench for every 75 feet of frontage.
  - At least 1 waste bin at each block corner.
  - At least 1 bike rack per project plus 10% of the parking spaces provided for bike storage.
- Lighting and mechanical equipment standards per 170-20(E)(3)(d).

*\*CUP (170-20B) may be used to adjust standards.*

## STREETSCAPE ELEMENTS



## ADULT BOOKSTORE, VIDEO STORE, OR CABARET

These uses are subject to the following conditions:

- An Adult Bookstore, Video Store or Cabaret shall be at least 500 feet from a parcel of land containing an existing residential use.
- An Adult Bookstore, Video Store or Cabaret shall be at least 1000 feet from a parcel of land containing a school, church, community park or public recreational area.
- No adult Bookstore, Video Store or Cabaret shall be permitted within 1000 ft. of an existing similar use.
- The proposed use shall comply with all other state statutes, and city ordinances and codes.

# CBD Downtown Gateway Sub-District



The information included in this table represents the requirements for development in this sub-district, see Section 170-20 for additional requirements (Adopted \_\_\_\_, Amended \_\_\_\_).

## STATEMENT OF PURPOSE

A gateway is an area that marks a transition point where you move from one existing condition to another. In terms of land use, Gateways generally indicate transition points from a less developed area (the highway, the rural landscape, etc.) to a more formal, densely developed urban core (multi-story buildings, civic buildings, etc.). In Dover the primary Downtown Gateways (Central Avenue north and south of the downtown core, Broadway, and Portland Avenue) are generally dominated by commercial activity, with buildings of a lower height than those located downtown. Some residual residential activity occurs occasionally as stand-alone buildings, but frequently residential activity is located above ground floor commercial uses. A modest distance between the building and the street exists, with a fair amount of landscaping.

## DIMENSIONAL REGULATIONS\*

Principal Building	
Lot Size	N/A
Lot Coverage	50%
Frontage Build-Out	60% min.
Front Primary BUILD TO LINE	5 ft. min - 20 ft. max
Front Secondary BUILD TO LINE	5 ft. min - 20 ft. max
Side Setback	5 ft. min
Rear Setback	0 ft. min
Outbuilding	
Front Setback	20 ft. min + bldg. setback
Side Setback	5 ft. min
Rear Setback	10 ft. min
Private Frontages	
Common Yard	Permitted
Porch and Fence	Permitted
Terrace/Lightwell	Permitted
Stoop	Permitted
Shopfront/Awning	Permitted
Gallery	Not permitted
Height of Building	
Principal Building	4 story max, 2 story min
Outbuilding/Accessory	2 story max

\*CUP (170-20B) may be used to adjust standards.

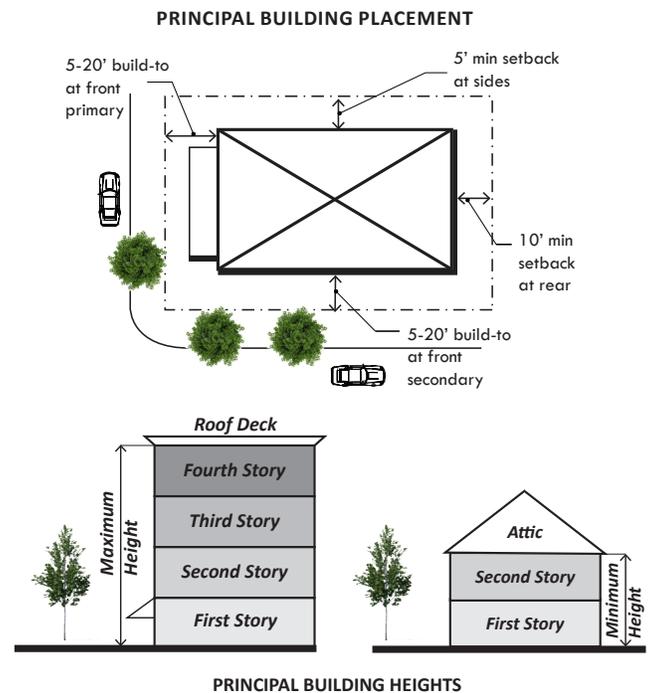
## PARKING LOCATION STANDARDS (SEE 149-14)

New construction resulting in additional square footage or an increase in residential units must comply with parking standards for the new portion of the building only.

## PERMITTED USES\*

Use	
Residential	Permitted; density allowed at 5,000 sf. per unit, 10 units max
Lodging	Permitted, up to 12 rooms, 13+ rooms if Arch. Standards are followed
Professional Services & Offices	Permitted
Eating & Drinking Establishments	Permitted
Retail/Personal Services	Permitted
Industrial	Permitted on Broadway via CUP
Civic	Permitted
Drive-Thru Services	Not Permitted
Other	Via Conditional Use Permit

\*CUP (170-20B) may be used to adjust standards.



## SIGN REGULATIONS

Sign Size & Quantity	
Total signs permitted	2
Total area of all signs	24 sf
Sign Type	
Freestanding	Permitted- 16 ft. max ht. or to bottom of second floor window sills (whichever is lowest)
Projecting	Permitted- 10 ft. min. above sidewalk, 25 ft. max height, 24 sq. ft. max.
Wall/Awning	Permitted
Temporary	Permitted per- 170-32.Q (1)

## ARCHITECTURAL STANDARDS\*

Preserving and enhancing the architectural tradition, history, and visual appeal of the Central Business District is integral to maintaining the character and identity of our community. Buildings designs and materials should enhance the appearance of Dover, reinforce pedestrian character where appropriate, reflect a consistency found within the sub-district, neighboring buildings, and natural and cultural resources. Building design should also minimize potential aesthetic conflicts between residential and nonresidential uses and between single family and multifamily uses. Architectural Standards are not intended to stifle creativity or variety, but produce designs respectful of place and context. **For more information, please see Section \_\_\_ of Dover's CBD Architectural Design Guidelines.**

The following **Architectural Standards** must apply for a residential building with 5 units or more and all mixed use/non-residential uses. Applicants will also be expected to prepare a narrative explaining how the project meets all of the architectural standards.

### Ground Floor standards:

- No less than 30% of the façade shall be windows.
- A pedestrian entrance shall be required at the street side or front façade.
- Residential uses permitted.
- The use of ground floor exterior lighting on the building should offer a feeling of warm security and increase safety to pedestrians without being overwhelming.

### Required standards include:

- Building designs shall be harmonious with neighboring structures in terms of mass, width, height, proportion, spacing, and setback.
- All exterior walls that front on a public way with adjacent pedestrian traffic/infrastructure must incorporate wood, brick, stone or a suitable contemporary material appropriately detailed within the first 20 vertical feet.
- Large structures shall be broken into smaller masses to provide human scale, variation, and depth.
- The design of the building shall incorporate views that are directed to the street and garden/courtyard rather than adjacent neighbors.
- Buildings shall be placed at or near the street, along the outer edge of their sites, to ensure the unity of those streets and to encourage and facilitate pedestrian activity.
- Building design shall enhance the pedestrian environment and streetscape.
- Utility elements shall be screened in an aesthetically pleasing manner.
- Use of architectural details and changes in depth are included on building elevations to increase visual interest and scale.
- Garages shall not face the street.
- Solar/Green Roof Standard:
  - All buildings must be solar ready
  - Commercial and mixed use buildings that are 25,000 sq ft or more must also incorporate solar panels and a green roof on at least 30 percent of the roof area.

### Optional standards include:

- Use of elements that accentuate and/or provide coverage at the entry such as canopy, porch, recessed entry, etc. are encouraged.
- Ornamental roof features that exceed the allowed building height are subject to the CUP process.
- Energy efficient design techniques, LEED standards, or an equivalent standard are encouraged.
- Other integrated green infrastructure elements are encouraged.
- Public art is encouraged.

*\*CUP (170-20B) may be used to adjust standards.*

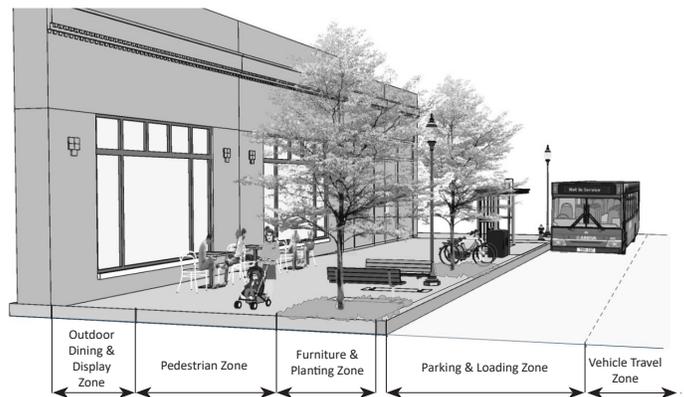
## STREETSCAPE STANDARDS

Streetscape standards were crafted to ensure streets in mixed use areas of the CBD have a relationship with adjacent buildings, accommodate pedestrians and bicyclists, and are compatible with the character of Dover's neighborhoods. All street elements must be consistent with Dover Streetscape and Landscape Standards. **For more information on streetscape standards, please see Section \_\_\_ of Dover's CBD Architectural Design Guidelines.**

- Sidewalks shall be brick and a minimum of 5 feet wide.
- Street trees shall be planted at an average spacing of 25 to 30 feet on center. Planting method shall allow for maximum root zone space where possible. Existing healthy street trees shall be protected, if possible.
- Unpaved ground area along the frontage shall be planted with appropriate groundcover or shrubs, no bare ground permitted. Low Impact Development techniques such as rain gardens, bioretention areas, tree boxes and other green infrastructure techniques shall be incorporated into these landscaped areas and maintained to ensure 5' wide walkway.
- Projects shall be designed to maintain and enhance, the quality of vehicular, bicycle and pedestrian circulation and safety on affected public streets.
- Street furniture shall be provided as follows:
  - 1 bench for every 75 feet of frontage.
  - At least 1 waste bin at each block corner.
  - 1 bike rack per non-residential project.
- Lighting and mechanical equipment standards per 170-20(E)(3)(d).

*\*CUP (170-20B) may be used to adjust standards.*

## STREETSCAPE ELEMENTS



# CBD Mixed Use Sub-District



The information included in this table represents the requirements for development in this sub-district, see Section 170-20 for additional requirements (Adopted \_\_\_\_, Amended \_\_\_\_).

## STATEMENT OF PURPOSE

This is an area in transition. Once the homes of the mills' managers and the community's professionals and successful merchants, shipbuilders, sea captains, and others, these stately Victorian buildings are a tribute to Dover's financial success during the height of the mill economy. These elegant structures lend grace to the community. While some of the existing buildings remain as single family residences, others are being converted to apartments and offices. As new structures replace older ones, they should follow the setback and massing of earlier structures. Residences in these newer buildings should be restricted to upper levels. Landscaping is an important element of this district, in both the public and private arenas.

## DIMENSIONAL REGULATIONS\*

Principal Building	
Lot Size	N/A
Minimum Lot Coverage	50%
Frontage Build-Out	60% min.
Front Primary BUILD TO LINE	5 ft. min - 20 ft. max
Front Secondary BUILD TO LINE	5 ft. min - 20 ft. max
Side Setback	5 ft. min - 20 ft. max
Rear Setback	10 ft. min - 20 ft. max
Outbuilding	
Front Setback	20 ft. min
Side Setback	5 ft. min
Rear Setback	5 ft. min
Private Frontages	
Common Yard	Permitted
Porch and Fence	Permitted
Terrace/Lightwell	Permitted
Stoop	Permitted
Shopfront/Awning	Permitted
Gallery	Not permitted
Height of Building	
Principal Building	3 story max, 2 story min
Outbuilding/Accessory	2 story max

\*CUP (170-20B) may be used to adjust standards.

## PARKING LOCATION STANDARDS (SEE 149-14)

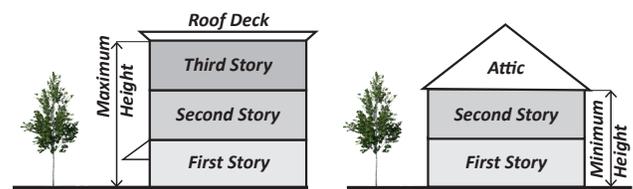
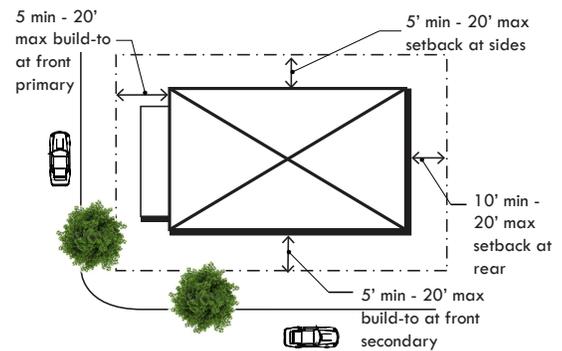
New construction resulting in additional square footage or an increase in residential units must comply with parking standards for the new portion of the building only.

## PERMITTED USES\*

Use	
Residential	Permitted, but not on GROUND FLOOR except in existing STRUCTURES; density allowed at 5,000 sf. per unit, 10 units max
Lodging	Permitted, up to 12 rooms w/ stays up to 14 days
Professional Services & Offices	Permitted
Eating & Drinking Establishments	Not permitted
Retail/Personal Services	Permitted
Industrial	Not permitted
Civic	Permitted
Drive-Thru Services	Not permitted
Other	Via Conditional Use Permit

\*CUP (170-20B) may be used to adjust standards.

### PRINCIPAL BUILDING PLACEMENT



### PRINCIPAL BUILDING HEIGHTS

## SIGN REGULATIONS

Sign Size & Quantity	
Total signs permitted	2
Total area of all signs	12 sf
Sign Type	
Freestanding	Not permitted
Projecting	Not permitted
Wall/Awning	Permitted- area may be increased if Mill Motif is adhered to.
Temporary	Permitted per- 170-32.Q (1)

## ARCHITECTURAL STANDARDS\*

Preserving and enhancing the architectural tradition, history, and visual appeal of the Central Business District is integral to maintaining the character and identity of our community. Buildings designs and materials should enhance the appearance of Dover, reinforce pedestrian character where appropriate, reflect a consistency found within the sub-district, neighboring buildings, and natural and cultural resources. Building design should also minimize potential aesthetic conflicts between residential and nonresidential uses and between single family and multifamily uses. Architectural Standards are not intended to stifle creativity or variety, but produce designs respectful of place and context. **For more information, please see Section \_\_\_ of Dover's CBD Architectural Design Guidelines.**

The following **Architectural Standards** must apply for a residential building with 5 units or more and all mixed use/non-residential uses. Applicants will also be expected to prepare a narrative explaining how the project meets all of the architectural standards.

### Grand Floor standards:

- No less than 30% of the façade shall be windows.
- A pedestrian entrance shall be required at the street side or front façade.
- The use of ground floor exterior lighting on the building should offer a feeling of warm security and increase safety to pedestrians without being overwhelming.

### Required standards include:

- Building designs shall be harmonious with neighboring structures in terms of mass, width, height, proportion, spacing, and setback.
- All exterior walls that front on a public way with adjacent pedestrian traffic/infrastructure must incorporate wood, brick, stone or a suitable contemporary material appropriately detailed within the first 20 vertical feet.
- Large structures shall be broken into smaller masses to provide human scale, variation, and depth.
- The design of the building shall incorporate views that are directed to the street and garden/courtyard rather than adjacent neighbors.
- Buildings shall be placed at or near the street, along the outer edge of their sites, to ensure the unity of those streets and to encourage and facilitate pedestrian activity.
- Utility elements shall be screened in an aesthetically pleasing manner.
- Garages shall not face the street.
- Solar/Green Roof Standard:
  - All buildings must be solar ready
  - Commercial and mixed use buildings that are 25,000 sq ft or more must also incorporate solar panels and a green roof on at least 30 percent of the roof area.

### Optional standards include:

- Use of architectural details and changes in depth are encouraged on building elevations to increase visual interest and scale.
- Use of elements that accentuate and/or provide coverage at the entry such as canopy, porch, recessed entry, etc. are encouraged.
- Ornamental roof features that exceed the allowed building height are subject to the CUP process.
- Energy efficient design techniques, LEED standards, or an equivalent standard are encouraged.
- Other integrated green infrastructure elements are encouraged.

*\*CUP (170-20B) may be used to adjust standards.*

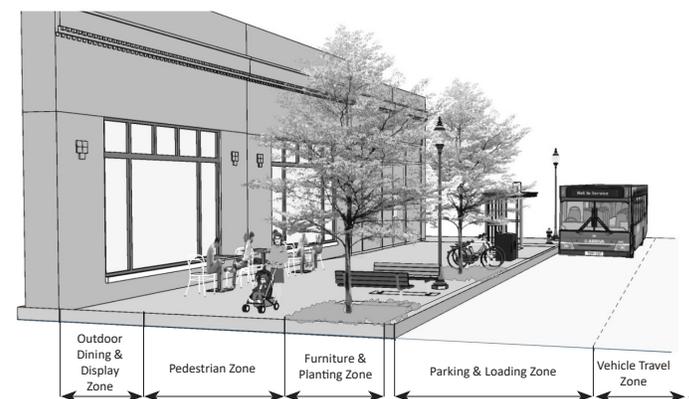
## STREETSCAPE STANDARDS

Streetscape standards were crafted to ensure streets in mixed use areas of the CBD have a relationship with adjacent buildings, accommodate pedestrians and bicyclists, and are compatible with the character of Dover's neighborhoods. All street elements must be consistent with Dover Streetscape and Landscape Standards. **For more information on streetscape standards, please see Section \_\_\_ of Dover's CBD Architectural Design Guidelines.**

- Sidewalks shall be brick and a minimum of 5 feet wide.
- Street trees shall be planted at an average spacing of 25 to 30 feet on center. Planting method shall allow for maximum root zone space where possible. Existing healthy street trees shall be protected, if possible.
- Unpaved ground area along the frontage shall be planted with appropriate groundcover or shrubs, no bare ground or mulch-only areas permitted. Low Impact Development techniques such as rain gardens, bioretention areas, tree boxes and other green infrastructure techniques shall be incorporated into these landscaped areas.
- Projects shall be designed to maintain and enhance, the quality of vehicular, bicycle and pedestrian circulation and safety on affected public streets.
- Street furniture shall, at a minimum, be provided as follows:
  - 1 bench for every 75 feet of frontage.
  - At least 1 waste bin at each block corner.
  - 1 bike rack per non-residential project.
- Lighting and mechanical equipment standards per 170-20(E)(3)(d).
- Owners are encouraged to place planters and window boxes with flowering plants and/or climbing vines along the area. in front of their buildings and maintain in such a way so that the walkway is cleared.
- Public art is encouraged.

*\*CUP (170-20B) may be used to adjust standards.*

## STREETSCAPE ELEMENTS



*\*CUP (170-20B) may be used to adjust standards.*

# CBD Residential Sub-District



The information included in this table represents the requirements for development in this sub-district, see Section 170-20 for additional requirements (Adopted \_\_\_\_, Amended \_\_\_\_).

## STATEMENT OF PURPOSE

North of the Downtown core are neighborhoods of smaller homes, once the residences of mill employees, shopkeepers, and others for whom the close proximity to the Downtown was an important feature. Smaller in scale than the more ornate homes in the Mixed Use District, many of these buildings still present considerable architectural detailing. Many of them have outbuildings at the rear of the property. The continued use of these areas as residential neighborhoods is important, both to the city's heritage and to achieving the smart growth and low carbon impact goals of the master plan. Where new structures are added, they should mimic the placement, scale, and building materials of the older homes.

## DIMENSIONAL REGULATIONS\*

Principal Building	
Lot Size	N/A
Minimum Lot Coverage	40%
Minimum Frontage	75 ft.
Frontage Build-Out	40% min.
Front Primary BUILD TO LINE	8 ft. min - 15 ft. max
Front Secondary BUILD TO LINE	8 ft. min - 10 ft. max
Side Setback	10 ft.
Rear Setback	15 ft.
Outbuilding	
Front Setback	20 ft. min + bldg. setback
Side Setback	5 ft. min
Rear Setback	5 ft. min
Private Frontages	
Common Yard	Permitted
Porch and Fence	Permitted
Terrace/Lightwell	Not permitted
Stoop	Permitted
Shopfront/Awning	Not permitted
Gallery	Not permitted
Height of Building	
Principal Building	3 story max, 2 story min
Outbuilding/Accessory	2 story max

\*CUP (170-20B) may be used to adjust standards.

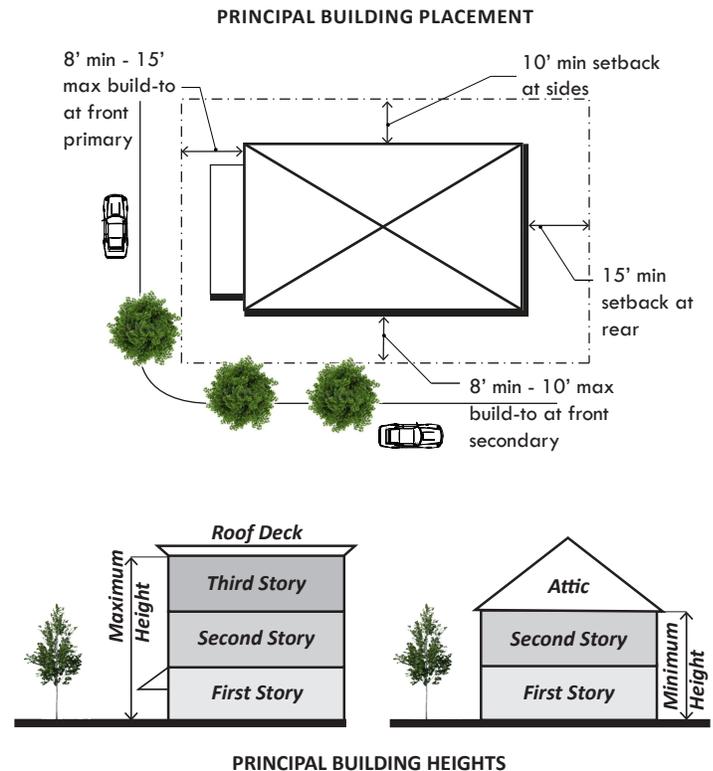
## PARKING LOCATION STANDARDS (SEE 149-14)

New construction resulting in additional square footage or an increase in residential units must comply with parking standards for the new portion of the building only.

## PERMITTED USES\*

Use	
Residential	Permitted
Lodging	Permitted, up to 12 rooms w/ stays up to 14 days
Professional Services & Offices	Via Conditional Use Permit
Eating & Drinking Establishments	Not permitted
Retail/Personal Services	Via Conditional Use Permit
Industrial	Not permitted
Civic	Permitted
Other	Via Conditional Use Permit

\*CUP (170-20B) may be used to adjust standards.



## SIGN REGULATIONS

Sign Size & Quantity	
Total signs permitted	1
Total area of all signs	16 sf.
Sign Type	
Freestanding	Not permitted
Projecting	Permitted- 10 ft. min above sidewalk, 25 ft. max ht, 24 sf. max size
Wall/Awning	Permitted- 16 ft. max ht, or to bottom of 2nd floor window sills, whichever is lowest
Temporary	Not permitted

## ARCHITECTURAL STANDARDS\*

Preserving and enhancing the architectural tradition, history, and visual appeal of the Central Business District is integral to maintaining the character and identity of our community. Buildings designs and materials should enhance the appearance of Dover, reinforce pedestrian character where appropriate, reflect a consistency found within the sub-district, neighboring buildings, and natural and cultural resources. Building design should also minimize potential aesthetic conflicts between residential and nonresidential uses and between single family and multifamily uses. Architectural Standards are not intended to stifle creativity or variety, but produce designs respectful of place and context. **For more information, please see Section \_\_\_ of Dover's CBD Architectural Design Guidelines.**

The following **Architectural Standards** must apply for a residential building with 5 units or more and all mixed use/non-residential uses. Applicants will also be expected to prepare a narrative explaining how the project meets all of the architectural standards.

### **Ground Floor standards:**

- No less than 30% of the façade shall be windows.
- A pedestrian entrance shall be required at the street side or front façade.

### **Required standards include:**

- Building designs shall be harmonious with neighboring structure in terms of mass, width, height, proportion, spacing, and setback.
- Building designs shall consider the quality of the pedestrian environment.
- Garage doors shall be relatively unobtrusive.
- Utility elements shall be screened in an aesthetically pleasing manner.

### **Optional standards include:**

- Desirable materials include wood (clapboard and shakes), brick, stone, and contemporary materials that are harmonious and compatible with the aesthetic of the sub-district and its neighboring structures.
- Use of architectural details and changes in depth are encouraged on building elevations to increase visual interest and scale.
- Ornamental roof features that exceed the allowed building height are subject to the CUP process.
- Energy efficient design techniques, LEED standards, or an equivalent standard are encouraged.

*\*CUP (170-20B) may be used to adjust standards.*

## STREETSCAPE STANDARDS

Streetscape standards were crafted to ensure streets in residential areas of the CBD are walkable, accommodate pedestrians and bicyclists, and are compatible with the character of Dover's neighborhoods. All street elements must be consistent with Dover Streetscape and Landscape Standards. **For more information on streetscape standards, please see Section \_\_\_ of Dover's CBD Architectural Design Guidelines.**

- Sidewalks shall be a minimum of 5 feet wide.
- Projects shall be designed to maintain and enhance the quality of pedestrian, bicycle and vehicular facilities, and circulation and safety on affected public streets.
- Lighting and mechanical equipment standards per 170-20(E)(3)(d).
- Street trees shall be planted at an average spacing of 25 to 30 feet on center. Planting method shall allow for maximum root zone space where possible. Existing healthy street trees shall be protected, if possible.
- Unpaved ground area along the frontage shall be planted with appropriate groundcover or shrubs, no bare or mulch-only ground areas permitted. Low Impact Development techniques such as rain gardens, bioretention areas, tree boxes and other green infrastructure techniques shall be incorporated into these landscaped areas.
- Owners are encouraged to place planters and window boxes with flowering plants and/or climbing vines along the area in front of their buildings but maintain them in a way to not block the walkways.

*\*CUP (170-20B) may be used to adjust standards.*

## STREETSCAPE ELEMENTS



# CBD General Sub-District



The information included in this table represents the requirements for development in this sub-district, see Section 170-20 for additional requirements (Adopted \_\_\_\_, Amended \_\_\_\_).

## STATEMENT OF PURPOSE

From the late 1700's, when Dover began to shift from a farming community to a manufacturing center, the land and blocks in and around Washington and Main Streets and Central Avenue have been the community's commercial core. Both redevelopment and new development should reflect that 250 year history. A wide array of retail and commercial activity should be encouraged here. Residential activity should be encouraged on the upper floors of buildings. New construction, where needed, should follow the pattern of existing development in terms of building placement, building height, and the use of durable construction materials. Public spaces are important here, and should be encouraged and maintained properly.

## DIMENSIONAL REGULATIONS\*

Principal Building	
Lot Size	N/A
Lot Coverage	75%
Frontage Build-Out	70% min
Front Primary BUILD TO LINE	(1)
Front Secondary BUILD TO LINE	(1)
Side Setback	0 ft. min - 24 ft. max
Rear Setback	10 ft. min
Outbuilding	
Front Setback	Not permitted
Side Setback	Not permitted
Rear Setback	Not permitted
Private Frontages	
Common Yard	Not permitted
Porch and Fence	Not permitted
Terrace/Lightwell	Not permitted
Stoop	Permitted
Shopfront/Awning	Permitted
Gallery	Permitted
Height of Building	
Principal Building	5 story max, 2 story min
Outbuilding/Accessory	Not permitted

\*CUP (170-20B) may be used to adjust standards.

"(1) The property owner shall calculate the average front SETBACKS of all LOTS within the same zone located on the same side of the STREET, two hundred fifty (250) feet in each direction from the center of the front LOT LINE. This front SETBACK dimension shall be considered to be a BUILD TO LINE. STRUCTURES may be constructed within five (5) feet plus or minus of the average. Porches or steps may be located an additional five (5) feet beyond the front façade of the STRUCTURE. Expansions to existing STRUCTURES shall be subject to minimum SETBACK equal to the calculated average SETBACK minus five (5) feet."

## PARKING LOCATION STANDARDS (SEE 149-14)

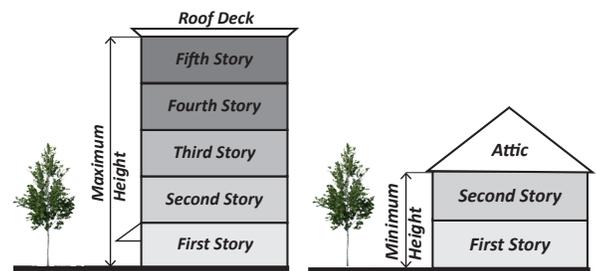
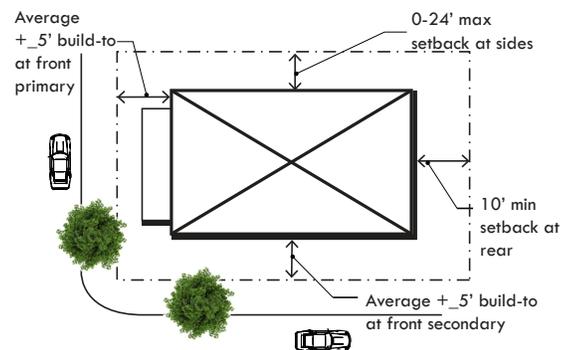
New construction resulting in additional square footage or an increase in residential units must comply with parking standards for the new portion of the building only.

## PERMITTED USES\*

Use	
Residential	Permitted, but not on GROUND FLOOR except in an existing use
Lodging	Permitted
Professional Services & Offices	Permitted
Eating & Drinking Establishments	Permitted
Retail/Personal Services	Permitted
Industrial	Not permitted
Civic	Permitted
Drive-Thru Services	Not permitted
Other	Via Conditional Use Permit

\*CUP (170-20B) may be used to adjust standards.

### PRINCIPAL BUILDING PLACEMENT



PRINCIPAL BUILDING HEIGHTS

## SIGN REGULATIONS

Sign Size & Quantity	
Total signs permitted	2
Total area of all signs	1 sf. per lf. of frontage - area may be increased if Mill Motif is adhered to
Sign Type	
Freestanding	Not permitted
Projecting	Permitted - 10 ft. min above sidewalk, 25 ft. max ht, 24 sf.
Wall/Awning	Permitted, 40 sf. max
Temporary	Permitted per- 170-32.Q (1)

## ARCHITECTURAL STANDARDS\*

Preserving and enhancing the architectural tradition, history, and visual appeal of the Central Business District is integral to maintaining the character and identity of our community. Buildings designs and materials should enhance the appearance of Dover, reinforce pedestrian character where appropriate, reflect a consistency found within the sub-district, neighboring buildings, and natural and cultural resources. Building design should also minimize potential aesthetic conflicts between residential and nonresidential uses and between single family and multifamily uses. Architectural Standards are not intended to stifle creativity or variety, but produce designs respectful of place and context. **For more information, please see Section \_\_\_ of Dover's CBD Architectural Design Guidelines.**

The following **Architectural Standards** must apply for a residential building with 5 units or more and all mixed use/non-residential uses. Applicants will also be expected to prepare a narrative explaining how the project meets all of the architectural standards.

### Ground Floor standards:

- No less than 80% of the façade shall be windows.
- A pedestrian entrance shall be required at the street side or front façade.
- For new construction only non-residential uses shall be on the ground floor level.
- Ground floor exterior lighting on the building is encouraged and should offer a feeling of warm security and increased safety to pedestrians without being overwhelming.

### Required standards include:

- Building designs shall be harmonious with neighboring structures in terms of mass, width, height, proportion, spacing, and setback.
- All exterior walls that front on a public way with adjacent pedestrian traffic/infrastructure must incorporate wood, brick, stone or a suitable contemporary material appropriately detailed within the first 20 vertical feet.
- Large structures shall be broken into smaller masses to provide human scale, variation, and depth.
- The design of the building shall incorporate views that are directed to the street and garden/courtyard rather than adjacent neighbors.
- Buildings shall be placed at or near the street, along the outer edge of their sites, to ensure the unity of those streets and to encourage and facilitate pedestrian activity.
- Building design shall enhance the pedestrian environment and streetscape.
- Utility elements shall be screened in an aesthetically pleasing manner.
- Garages shall not face the street.
- Solar/Green Roof Standard:
  - All buildings must be solar ready
  - Commercial and mixed use buildings that are 25,000 sq ft or more must also incorporate solar panels and a green roof on at least 30 percent of the roof area.

### Optional standards include:

- Use of architectural details and changes in depth are encouraged on building elevations to increase visual interest and scale.
- Ornamental roof features that exceed the allowed building height are subject to the CUP process.
- Use of elements that accentuate and/or provide coverage at the entry such as canopy, porch, recessed entry, etc. are encouraged.
- LEED standards or an equivalent standard are encouraged.
- Energy efficient design techniques, LEED standards, or an equivalent standard are encouraged.
- Other integrated green infrastructure elements are encouraged.

\*CUP (170-20B) may be used to adjust standards.

## STREETSCAPE STANDARDS

Streetscape standards were crafted to create a vibrant, walkable downtown area that facilitates pedestrian activity. The experience each person will have with the street, the sidewalk, the buildings, and the surrounding environment is what helps define the unique character of a place. All street elements must be consistent with Dover Streetscape and Landscape Standards. **For more information on streetscape standards, please see Section \_\_\_ of Dover's CBD Architectural Design Guidelines.**

- Sidewalks shall be brick and a minimum of 5 feet wide.
- Street trees shall be planted at an average spacing of 25 to 30 feet on center. Planting method shall allow for maximum root zone space where possible. Existing healthy street trees shall be protected, if possible.
- Unpaved ground area along the frontage shall be planted with appropriate groundcover or shrubs, no bare ground or mulch-only areas permitted. Low Impact Development techniques such as rain gardens, bioretention areas, tree boxes and other green infrastructure techniques shall be incorporated into these landscaped areas and maintained to ensure 5' wide walkway.
- Projects shall be designed to maintain and enhance the quality of vehicular, bicycle and pedestrian circulation and safety on affected public streets.
- Street furniture shall be provided as follows:
  - 1 bench for every 75 feet of frontage.
  - At least 1 waste bin at each block corner.
  - 1 bike rack per project.
- Lighting and mechanical equipment standards per 170-20(E)(3)(d).
- Owners are encouraged to place planters and window boxes with flowering plants and/or climbing vines along the area in front of their buildings.
- Public art is encouraged.

## STREETSCAPE ELEMENTS

