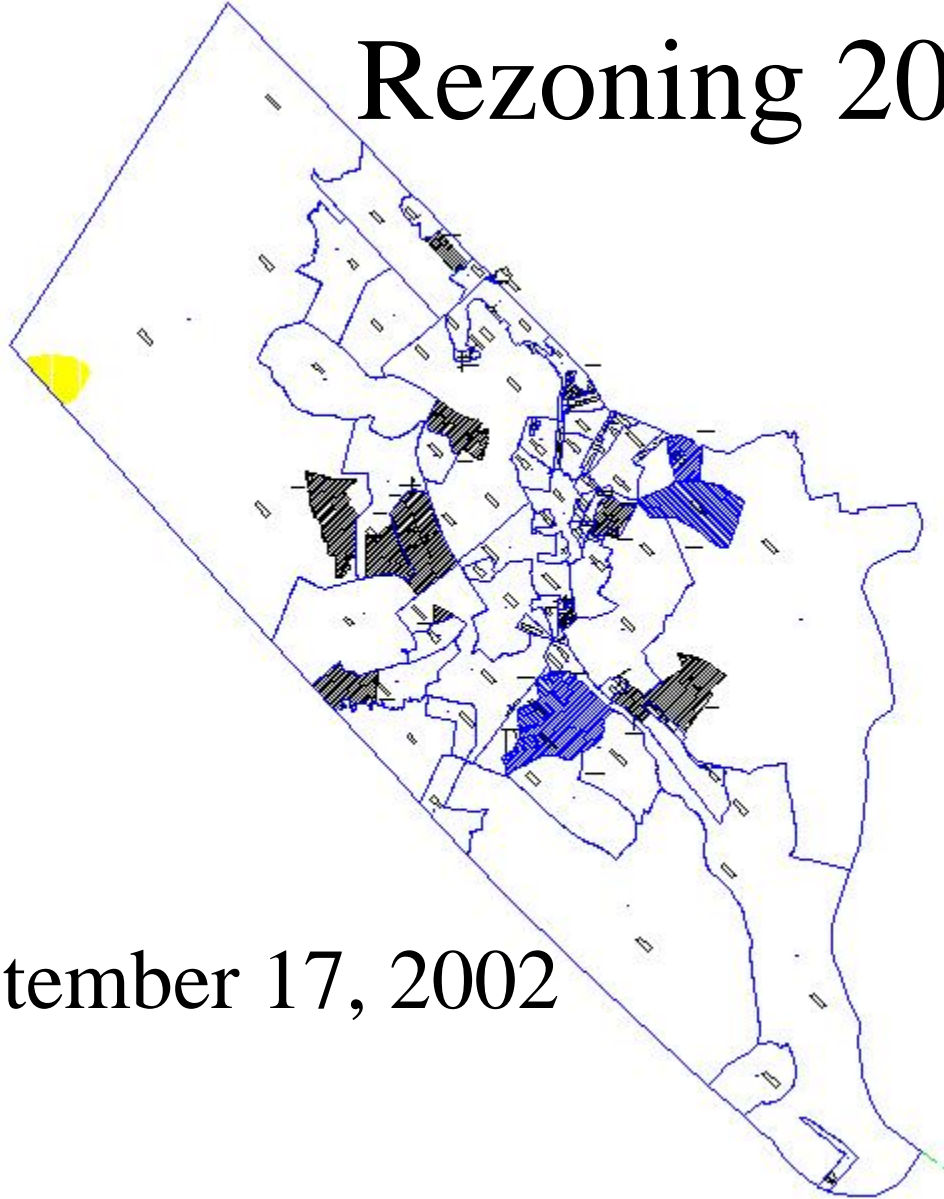


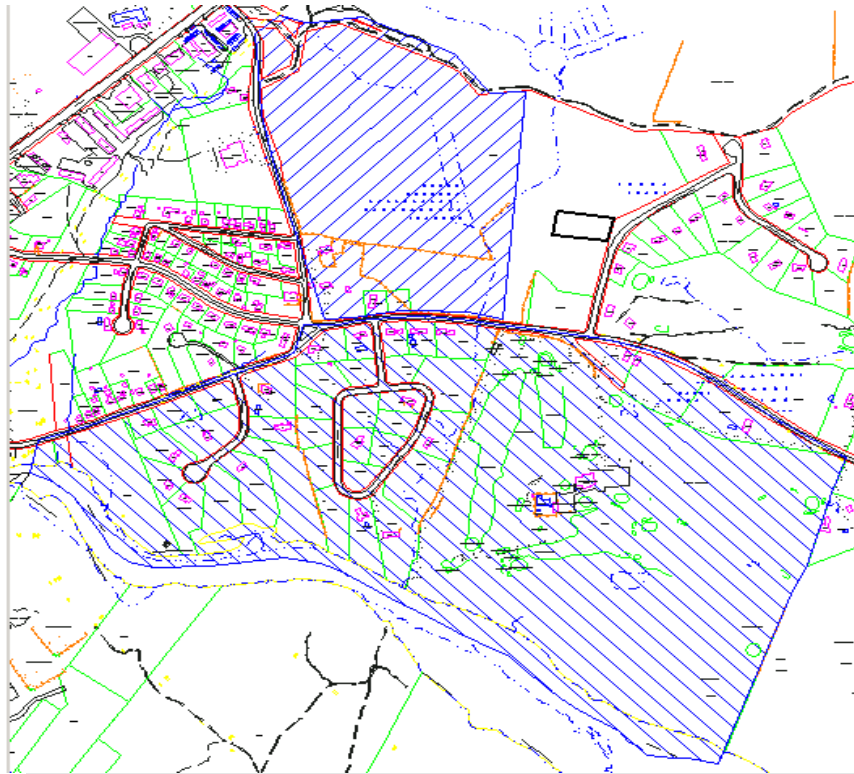
# Rezoning 2002



September 17, 2002

# Acreeage Changing Zone

Area	R-40	R-20	R-12	RM-20	RM-12	RM-10	O	B-1	B-3	B-4	I-1	I-2	I-4	CWD	ETP	UMUD	
Dover Point Rd			-30						30								
Dover Point Rd	-88														88		
Central Ave			-15				15										
Knox Marsh Rd				-77						77							
Littleworth Rd		-8								8							
Central Ave						-10	10										
Gulf Rd	50		-50														
New Rochester Rd			-25				25										
Littleworth Rd												-150	150				
Littleworth Rd		-70											70				
Columbus	-125												125				
Gulf Rd	160				-160												
Back River Rd			30	-30													
Mast Rd			185		-185												
Mast Rd				12	-12												
Back River Rd			1													-1	
River St			2								-2						
River St											-37			37			
<i>Totals</i>	-3	-78	98	-95	-357	-10	50	0	30	85	-39	-150	345	37	88	-1	
				Residential			-445					Non-Residential				445	
<b>Citywide Before</b>							<b>15983</b>										<b>2607</b>
Citywide after							15538										3052



# Gulf Rd:

RM-12 and R-12 to R-40

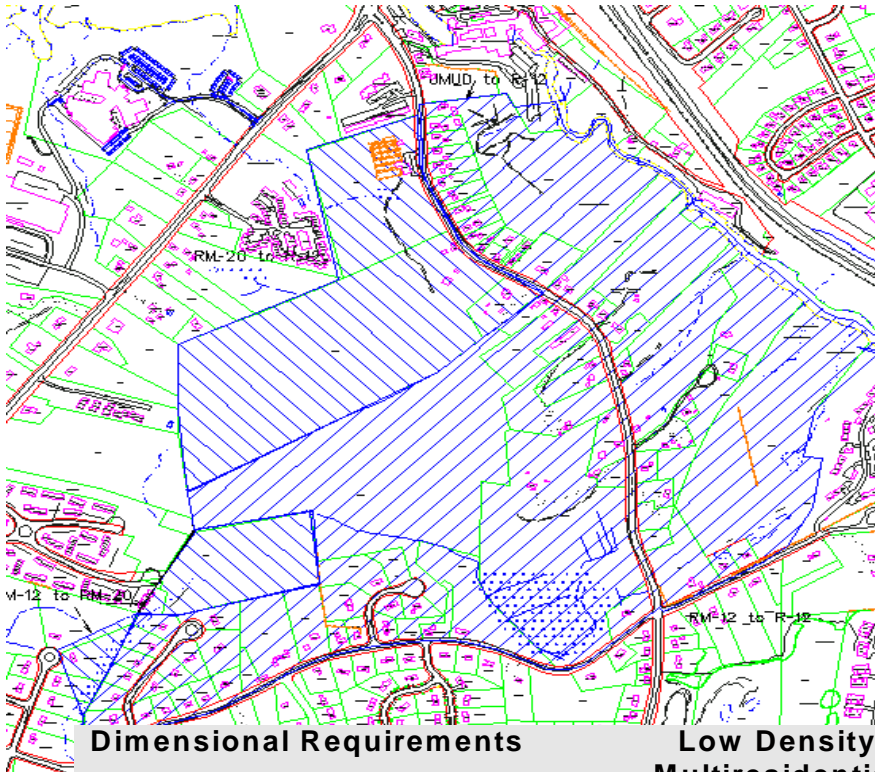
Changes 210 acres, all residential in nature, from medium to lower density. Removes option of multifamily units in the area.

Dimensional Requirements	Low Density Multiresidential (RM-12)	Medium Density Residential (R-12)	Rural Residential District (R-40)
Minimum Lot Size	20,000 square feet	12,000 square feet	40,000 square feet
Minimum Frontage	125 feet	100 feet	150 feet
Minimum Front Building Setback	35 feet for one unit 50 feet for 2 to 4 units	30 feet	50 feet
Minimum Rear Building Setback	20 feet for 1 or 2 units 75 feet for 3 or 4 units	15 feet	15 feet
Minimum Side Building Setback	20 feet for 1 or 2 units 75 feet for 3 or 4 units	15 feet	25 feet
Minimum Abut a Street Setback	35 feet for one unit 50 feet for 2 to 4 units	30 feet	50 feet
Maximum Coverage of a Lot	40 percent	30 percent	10 percent
Maximum Height	40 feet	35 feet	35 feet

# Back River Rd:

RM-20 to R-12 and RM-12 to R-12 and RM-12 RM-20 and UMUD R-12

Changes 228, all residential in nature, from medium to lower density. Lowers the amount of multifamily units in the area.

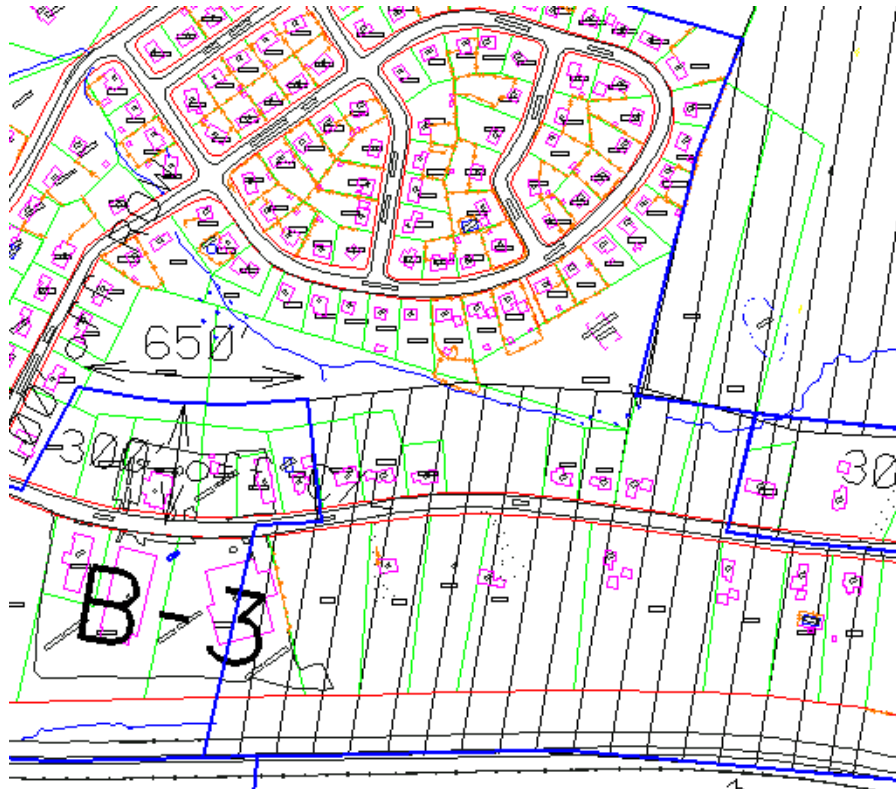


Dimensional Requirements	Low Density Multiresidential (RM-12)	Medium Density Residential (R-12)	Suburban Density Multiresidential (RM-20)
Minimum Lot Size	20,000 square feet	12,000 square feet	20,000 square feet
Minimum Lot Size Per Unit	15,000 square feet	NA	10,000 square feet
Minimum Frontage	125 feet	100 feet	150 feet
Minimum Front Building Setback	35 feet for one unit 50 feet for 2 to 4 units	30 feet	50 feet
Minimum Rear Building Setback	20 feet for 1 or 2 units 75 feet for 3 or 4 units	15 feet	20 feet
Minimum Side Building Setback	20 feet for 1 or 2 units 75 feet for 3 or 4 units	15 feet	20feet
Minimum Abut a Street Setback	35 feet for one unit 50 feet for 2 to 4 units	30 feet	50 feet
Maximum Coverage of a Lot	40 percent	30 percent	40 percent
Maximum Height	40 feet	35 feet	40 feet

# Dover Point Rd:

R-12 to B-3

Changes 30 acres from medium density residential to commercial.

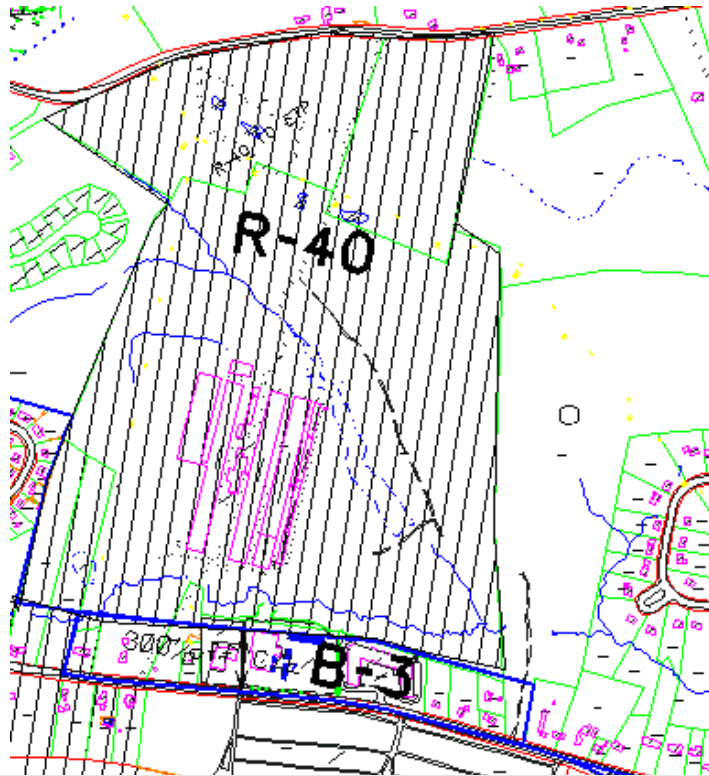


Dimensional Requirements	Medium Density Residential (R-12)	Business Thoroughfare (B-3)
Minimum Lot Size	12,000 square feet	20,000 square feet
Minimum Frontage	100 feet	125 feet
Minimum Front Building Setback	30 feet	50 feet
Minimum Rear Building Setback	15 feet	15 feet
Minimum Side Building Setback	15 feet	12 feet
Minimum Abut a Street Setback	30 feet	50 feet
Maximum Coverage of a Lot	30 percent	50 percent
Maximum Height	35 feet	40 feet

# Dover Point Rd/ Middle Rd:

R-40 to ETP

Changes 88 acres from residential to high-tech (non-smokestack) industrial usage. Maintains rural character.

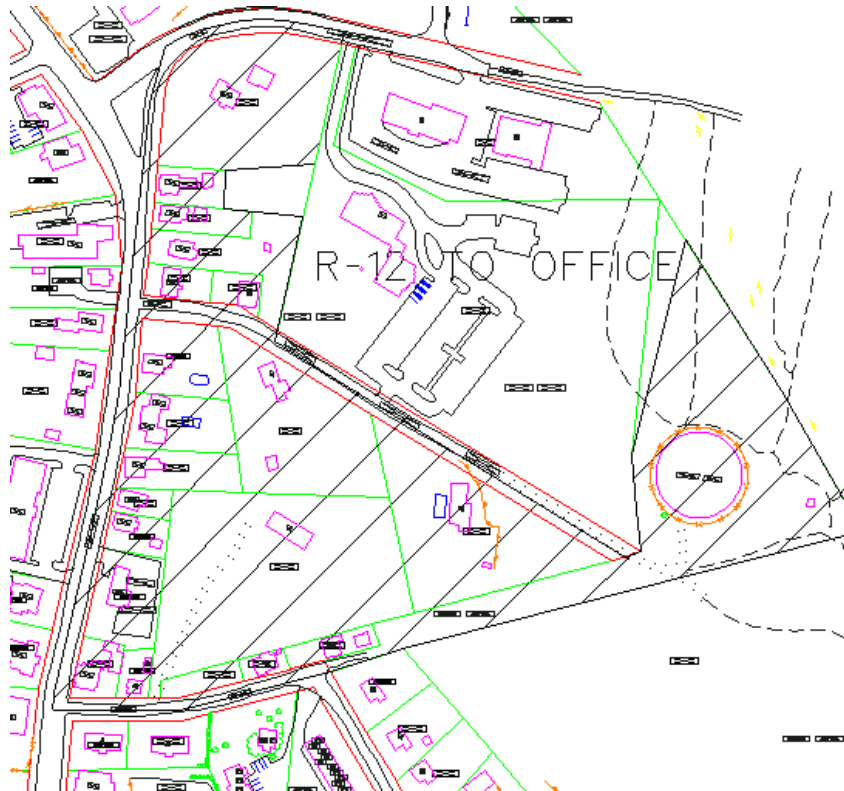


Dimensional Requirements	Rural Residential District (R-40)	Executive Technology Park (ETP)
Minimum Lot Size	40,000 square feet	3 acres
Minimum Frontage	150 feet	0 feet
Minimum Front Building Setback	50 feet	50 feet
Minimum Rear Building Setback	15 feet	50 feet
Minimum Side Building Setback	25 feet	50 feet
Minimum Abut a Street Setback	50 feet	50 feet
Maximum Coverage of a Lot	10 percent	33 percent
Maximum Height	35 feet	55 feet

# Central Ave:

R-12 to O

Changes 15 acres from residential to office/small business (no eating and drinking or large retail) uses.

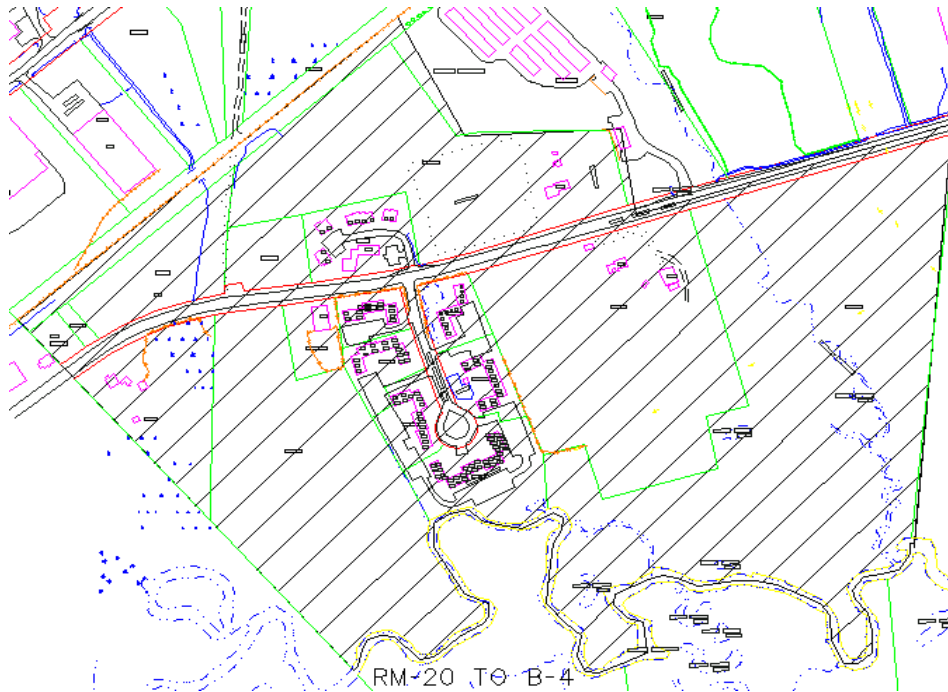


Dimensional Requirements	Medium Density Residential (R-12)	Office (O)
Minimum Lot Size	12,000 square feet	10,000 square feet
Minimum Frontage	100 feet	100 feet
Minimum Front Building Setback	30 feet	12 feet
Minimum Rear Building Setback	15 feet	15 feet
Minimum Side Building Setback	15 feet	10 feet
Minimum Abut a Street Setback	30 feet	12 feet
Maximum Coverage of a Lot	30 percent	50 percent
Maximum Height	35 feet	65 feet

# Knox Marsh Rd:

## RM-20 to B-4

Changes 77 acres from multi family residential to hotel and service center retail uses.



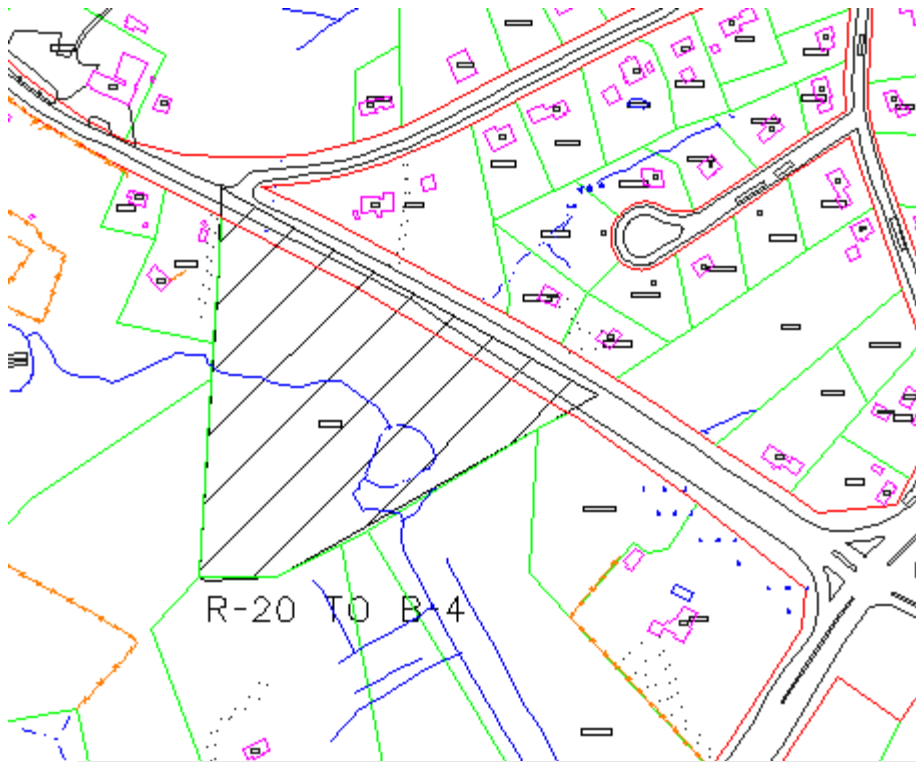
Dimensional Requirements	Suburban Multi-Residential (RM-20)	Hotel/Retail (B-4)
Minimum Lot Size	20,000 square feet	5 acres
Minimum Frontage	150 feet	400 feet
Minimum Front Building Setback	50 feet	75 feet
Minimum Rear Building Setback	20 feet	75 feet
Minimum Side Building Setback	20 feet	75 feet
Minimum Abut a Street Setback	50 feet	75 feet
Maximum Coverage of a Lot	40 percent	33 percent
Maximum Height	40 feet	40 feet



# Littleworth Rd:

R-20 to B-4

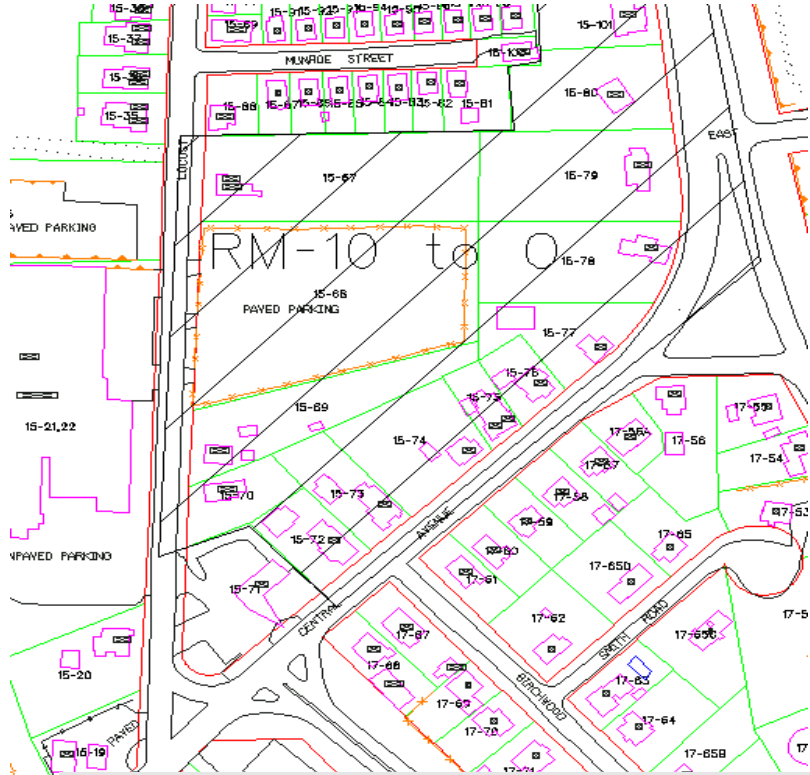
Changes 8 acres from low density residential to hotel and service center retail uses.



Dimensional Requirements	Low Density Residential (R-20)	Hotel/Retail (B-4)
Minimum Lot Size	20,000 square feet	5 acres
Minimum Frontage	125 feet	400 feet
Minimum Front Building Setback	35 feet	75 feet
Minimum Rear Building Setback	15 feet	75 feet
Minimum Side Building Setback	20 feet	75 feet
Minimum Abut a Street Setback	35 feet	75 feet
Maximum Coverage of a Lot	30 percent	33 percent
Maximum Height	35 feet	40 feet

# Central Ave/ Locust St: RM-10- to O

Changes 10 acres from medium density multi residential to office/small business (no eating and drinking or large retail) uses.

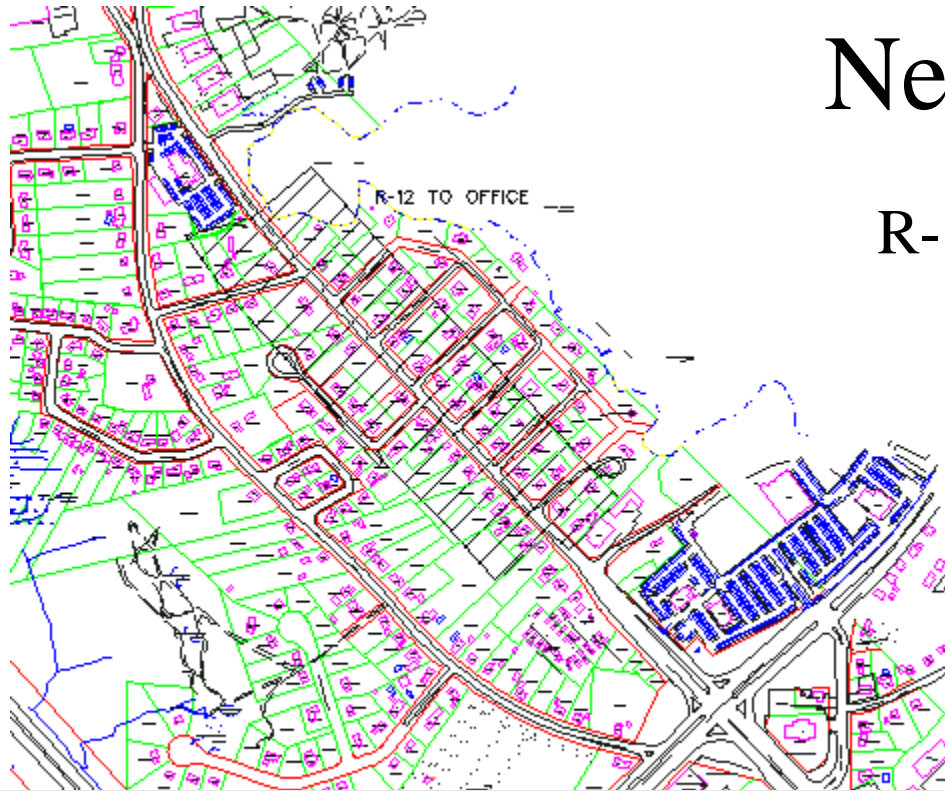


Dimensional Requirements	Medium Density Multi-Residential (RM-10)	Office (O)
Minimum Lot Size	10,000 square feet	10,000 square feet
Minimum Frontage	80 feet	100 feet
Minimum Front Building Setback	20 feet	12 feet
Minimum Rear Building Setback	15 feet	15 feet
Minimum Side Building Setback	15 feet	10 feet
Minimum Abut a Street Setback	20 feet	12 feet
Maximum Coverage of a Lot	40 percent	50 percent
Maximum Height	40 feet	65 feet

# New Rochester Rd:

## R-12 to O

Changes 25 acres from residential to office/small business (no eating and drinking or large retail) uses.

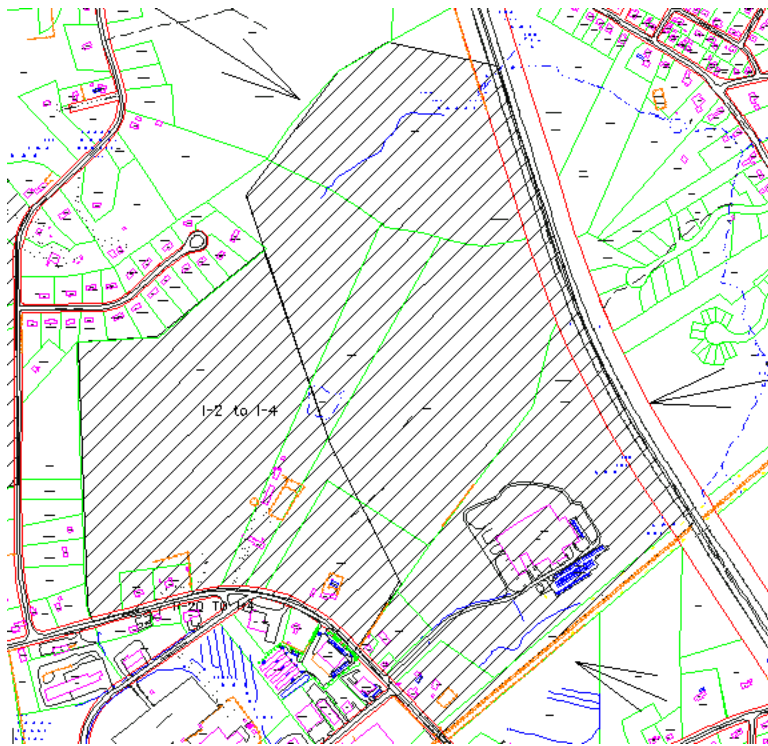


Dimensional Requirements	Medium Density Residential (R-12)	Office (O)
Minimum Lot Size	12,000 square feet	10,000 square feet
Minimum Frontage	100 feet	100 feet
Minimum Front Building Setback	30 feet	12 feet
Minimum Rear Building Setback	15 feet	15 feet
Minimum Side Building Setback	15 feet	10 feet
Minimum Abut a Street Setback	30 feet	12 feet
Maximum Coverage of a Lot	30 percent	50 percent
Maximum Height	35 feet	65 feet

# Littleworth Rd:

I-2 to I-4

Change 150 acres from Rural Restricted Industrial to Assembly and Office. Maintains rural character.

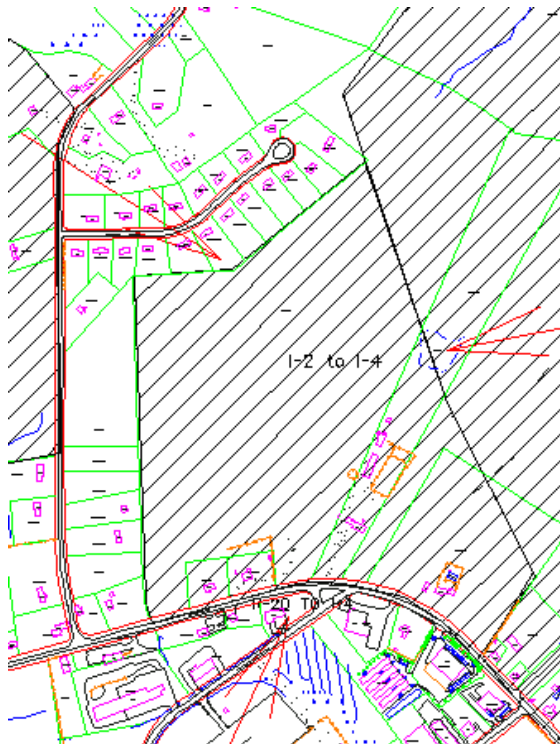


Dimensional Requirements	Rural Restricted Industrial (I-2)	Assembly and Office (I-4)
Minimum Lot Size	20,000 square feet	5 acres
Minimum Frontage	100 feet	400 feet
Minimum Front Building Setback	35 feet	75 feet
Minimum Rear Building Setback	10 feet	75 feet
Minimum Side Building Setback	10 feet	75 feet
Minimum Abut a Street Setback	35 feet	75 feet
Maximum Coverage of a Lot	50 percent	33 percent
Maximum Height	50 feet	40 feet

# Littleworth Rd:

R-20 to I-4

Change 70 acres from Low Density Residential to Assembly and Office. Maintains rural character.

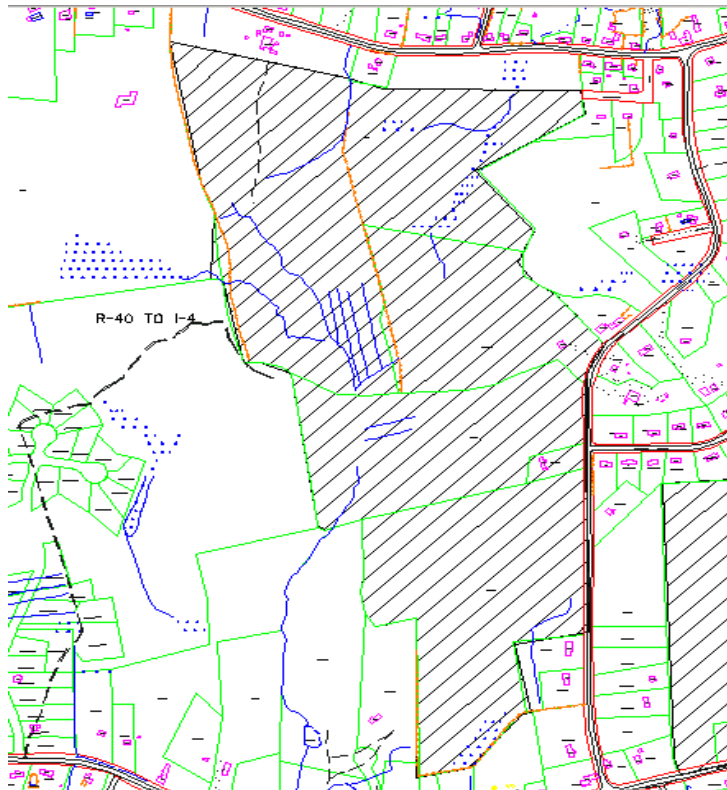


Dimensional Requirements	Low Density Residential (R-20)	Assembly and Office (I-4)
Minimum Lot Size	20,000 square feet	5 acres
Minimum Frontage	125 feet	400 feet
Minimum Front Building Setback	35 feet	75 feet
Minimum Rear Building Setback	15 feet	75 feet
Minimum Side Building Setback	20 feet	75 feet
Minimum Abut a Street Setback	35 feet	75 feet
Maximum Coverage of a Lot	30 percent	33 percent
Maximum Height	35 feet	40 feet

# Columbus Ave:

R-40 to I-4

Change 125 acres from Rural Residential to Assembly and Office. Maintains rural character.

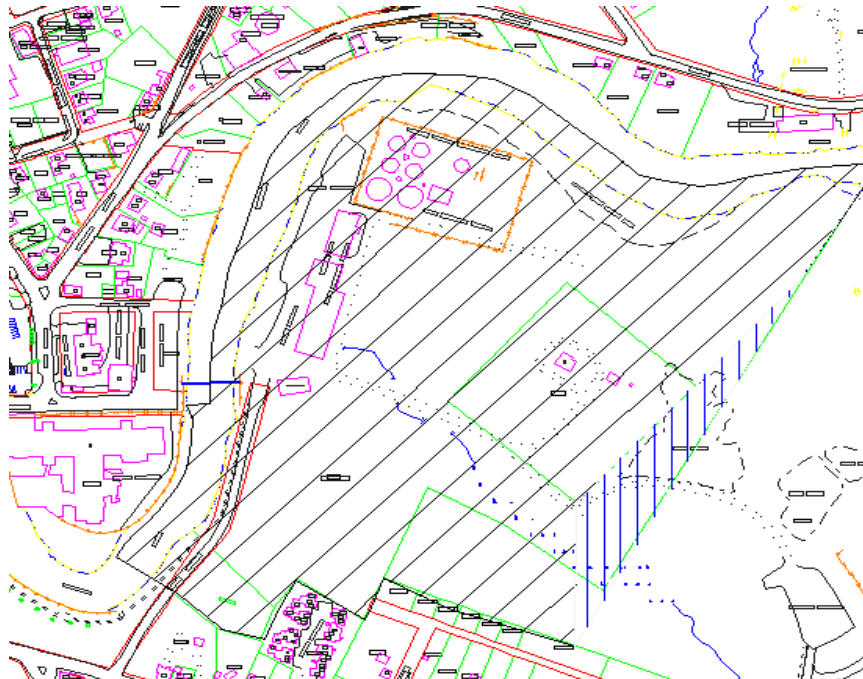


Dimensional Requirements	Rural Residential (R-40)	Assembly and Office (I-4)
Minimum Lot Size	40,000 square feet	5 acres
Minimum Frontage	150 feet	400 feet
Minimum Front Building Setback	50 feet	75 feet
Minimum Rear Building Setback	15 feet	75 feet
Minimum Side Building Setback	25 feet	75 feet
Minimum Abut a Street Setback	35 feet	75 feet
Maximum Coverage of a Lot	10 percent	33 percent
Maximum Height	35 feet	40 feet

# River St:

I-1 to CWD and R-12

Change 37 acres from Restricted Industrial to Cochecho Waterfront District and 2 acres from Restricted Industrial to Medium Density Residential.



Dimensional Requirements	Restricted Industrial (I-1)	Cochecho Waterfront District (CWD)	Medium Density Residential (R-12)
Minimum Lot Size	40,000 square feet	10,000 square feet	12,000 square feet
Minimum Frontage	150 feet	100 feet	100 feet
Minimum Front Building Setback	50 feet	0 feet	30 feet
Minimum Rear Building Setback	25 feet	0 feet	15 feet
Minimum Side Building Setback	15 feet	10 feet	15 feet
Minimum Abut a Street Setback	50 feet	0 feet	30 feet
Maximum Coverage of a Lot	50 percent	100 percent	30 percent
Maximum Height	50 feet	75 feet	35 feet

# For More Information....

- **The full text is available:**
  - **On the City's Web Site: [www.ci.dover.nh.us](http://www.ci.dover.nh.us)**
  - **In the Planning Department and City Clerks Office M-F 8 am to 4 pm, and W until 6 pm.**
  - **At the Public Library**
  - **In the back of the room there is a limited amount.**
- **Please call 516-6008 with further questions.**