

Rezoning 2013



City of Dover, New Hampshire
Regulating Map
10/2011

Planning Board
October 8, 2013

How We Got Here:

- “Gateway Rezoning Study”
 - Purpose: to ensure the roadways leading into downtown are properly zoned
 - Data Gathering: property analysis, solicitation of citizen input through mailings, stakeholder interviews, design sessions, and surveys
 - Updated Regulations: consultant and staff developed a proposed regulatory framework for the Planning Board’s review
- Planning Department 2013 Temporary Sign Regulations Enforcement Project
 - To date, has achieved a high level of compliance
 - Feedback indicated regulatory updates are needed

CBD Amendments

Amendment	Type	Area	District
2	Rezoning	Broadway	
3	Rezoning	Portland Ave	
4	Rezoning	Central Ave - South	
5	Rezoning	Central Ave - North	
6	Rezoning	Silver St/Central Ave	
7	Text Amendments		CBD
8	New Table		Downtown Gateway
9	New Table		Transit Oriented Development
10	Regulating Map		CBD
11	Table Amendments		General and Mixed Use

Temporary Sign Amendments

Amendment	District
12	CBD and CWD
13	B-3
14	B-5

CBD Rezoning Amendments

#	Intent
2	Extend the existing CBD boundary along Broadway up to Oak Street.
3	Extend the existing CBD boundary along Portland Avenue to a point between Hancock Street and Atlantic Avenue
4	Establish a CBD boundary in the area bounded by Locust Street, Central Avenue, and Trakey Street.
5	Extend the existing CBD boundary north along Central Avenue to Abbey Sawyer Memorial Highway
6	Extend the existing CBD boundary along the north and south sides of Silver to a point past Arch Street, and south on Central Avenue to Trakey Street.

CBD Text Amendments

#	Intent
7	<p>Amends Section 170-20 (“Central Business District Regulations”):</p> <ul style="list-style-type: none">• Conditional Use Permit criteria added for use applications• Transit Oriented Development and Downtown Gateway added as sub-districts• Incorporates future Dover Streetscape Standards as additional criteria• Clarifies which types of projects the streetscape criteria apply to• Adjusts bench spacing requirements• Moves lighting and mechanical equipment requirements from optional architectural standards to the “minimum standards” section
11	<p>Amends the General and Mixed Use sub-district tables to clarify parking requirements for new construction, require a masonry wall for parking screening, and update the bench spacing requirements</p>

CBD - Downtown Gateway Table

#	Intent
8	<p data-bbox="352 526 1352 570">Inserts new “Downtown Gateway” sub-district table</p> <p data-bbox="352 594 621 638">Key Features:</p> <ul data-bbox="352 662 1766 1382" style="list-style-type: none"><li data-bbox="352 662 915 706">• 50% minimum lot coverage<li data-bbox="352 730 1026 774">• 60% minimum frontage build-out<li data-bbox="352 799 1129 842">• 5-20 ft. front yard build to requirement<li data-bbox="352 867 1152 911">• 5 ft. side yard and 0 ft. rear yard setback<li data-bbox="352 935 1394 979">• Building height: 2 story minimum, 4 story maximum<li data-bbox="352 1003 1766 1112">• Residential permitted on first floor; for buildings with more than 4 units, architectural standards of Section 170-20.F are required<li data-bbox="352 1135 1436 1179">• Industrial Uses are permitted on Broadway with a CUP<li data-bbox="352 1203 1493 1247">• Permits freestanding signs with a maximum height of 5 ft.<li data-bbox="352 1271 1482 1315">• Permits temporary signs with one year renewable permits<li data-bbox="352 1339 1577 1383">• Any deviations from the CBD standards permitted with a CUP

CBD - Downtown Gateway Table

CBD Downtown Gateway District

The information provided in this Table represents the development regulations that apply to the CBD Downtown Gateway District. It is not intended to be a substitute for the City of Portland Comprehensive Zoning Ordinance.



Statement of Purpose

A gateway is an area that marks a transition point where you move from one existing condition to another. In terms of land use, gateways generally indicate transition points from a less developed area (the highway, the rural landscape, etc.) to a more formal, densely developed urban core (multi-story buildings, civic buildings, etc.). In Dover the primary Downtown Gateway (Central Avenue north and south of the downtown core, Broadway, and Portland Avenue) are generally dominated by commercial activity, with buildings of a lower height than those located downtown. Some residential residential activity occurs occasionally on stand-alone buildings, but frequently residential activity is located above ground floor commercial uses. A modest distance between the building and the street exists, with a fair amount of landscaping.

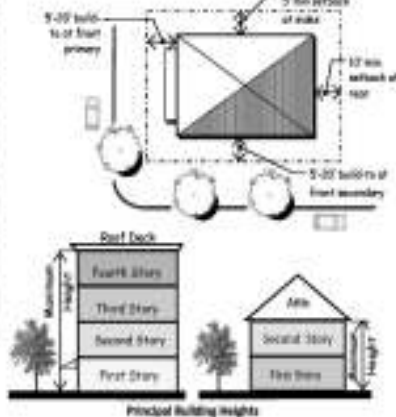
Dimensional Regulations

Principal Building	
Lot Size	NA
Minimum Lot Coverage	50%
Frontage Ratio Dist	60% min
Front Primary Build-To	8.8 min - 20.8 max
Front Secondary Build-To	8.8 min - 20.8 max
Side Setback	5.8 min
Rear Setback	8.8 min
Outbuilding/Accessory	
Front Setback	10 min - 14.8 min setback
Side Setback	5 min
Rear Setback	10 min
Private Premises	
Common Yard	permitted
Pool and Deck	permitted
Tennis / Lightwell	permitted
Shed	permitted
Shopfront & Awning	permitted
Canopy	not permitted
Building Height	
Principal Building	4 story max, 2 story min
Outbuilding/Accessory	2 story max

*CUP may be used to adjust setbacks

Special Regulations

- Parking Location Standards (Sec 170-04)** - New construction resulting in additional square footage or an increase in residential units must comply with parking standards for the new portion of the building only.
- Parking spaces may be located off-site within 1,000 feet of the proposed use
 - Parking spaces may be leased from the City or a private landowner
 - Parking spaces shall be screened from the street with a masonry wall, see Section 170-06P(4)
- Ground Floor Standards**
- No less than 30% of the facade shall be windows
 - A pedestrian entrance shall be required at the street side or front facade
 - Residential uses permitted: buildings with more than 4 units are required to follow architectural standards, see section 170-20P
- Dimensional Standards (Sec 170-20 B)** - All elements must be consistent with these Streetcape Standards.
- Street trees shall be planted at an average spacing of 25 to 30 feet on center
 - Unimproved ground area along the frontage shall be planted with appropriate groundcover or shrubs; no bare ground is permitted
 - Sidewalk shall be concrete and a minimum of 5 feet wide
 - Street furniture shall be provided as follows:
 - 1 bench for every 100 feet of frontage
 - At least 1 waste bin at each block corner
 - 1 bike rack per non-residential project
 - Lighting and mechanical equipment standards per sec 170-20 B
- Architectural Standards (Sec 170-20 J)**
- LEED standards or an equivalent standard are encouraged
 - No Drive-in Service permitted
 - Standards must apply for residential buildings with 4 units or more
 - All other standards are optional and may be utilized by applicant



Downtown Gateway Street Appearance Gateway

Permitted Uses - Central Business District

Uses	General	Mixed Use	Residential	Downtown Gateway	TOD
Residential	Permitted, but not on ground floor, except in an existing use	Permitted, but not on ground floor except in existing structures	Permitted	Permitted, buildings of four or more units on ground floor allowed only if Architectural Standards are followed.	Permitted but not on ground floor, except as an existing use.
Logging	Permitted	Permitted, up to 12 rooms w/stays up to 14 days	Permitted, up to 12 rooms w/stays up to 14 days	Permitted, up to 12 rooms, 13+ rooms if Arch Standards followed.	Permitted
Professional Services & Offices	Permitted	Permitted	Via CUP	Permitted	Permitted
Eating and Drinking establishments	Permitted	Not Permitted	Via CUP	Permitted	Permitted
Retail/ Personal Services	Permitted	Permitted	Via CUP	Permitted	Permitted
Industrial	Not Permitted	Not Permitted	Not Permitted	Permitted on Broadway via CUP	Not Permitted
Civic	Permitted	Permitted	Permitted	Permitted	Permitted
Other	Via CUP	Via CUP	Via CUP	Via CUP	Via CUP

For CUP see (170-20 B)

Downtown Gateway Signage Regulation

- Two signs per tenant permitted.
- Total sign area permitted to 24 sq. ft.
- One freestanding sign permitted per property; 5 ft. max height from ground.
- Temporary signs are permitted per 170-32.E.3 (bill motif not required).
- Internally lit signs are not permitted.
- No sign illumination is permitted after 9:00 PM

1 of 2

CBD TOD Table

#	Intent
9	<p data-bbox="352 526 1541 570">Inserts new “Transit Oriented Development” sub-district table</p> <p data-bbox="352 594 621 638">Key Features:</p> <ul data-bbox="352 662 1877 1393" style="list-style-type: none"><li data-bbox="352 662 915 706">• 75% minimum lot coverage<li data-bbox="352 730 1026 774">• 80% minimum frontage build-out<li data-bbox="352 799 1066 842">• 0 ft. front yard build to requirement<li data-bbox="352 867 1528 911">• 10 – 25 ft. side yard build to and 0 – 25 ft. rear yard build to<li data-bbox="352 935 1394 979">• Building height: 3 story minimum, 5 story maximum<li data-bbox="352 1003 1451 1047">• Commercial required on first floor for new construction<li data-bbox="352 1071 1730 1115">• Building façade must meet architectural standards of Section 170-20.F<li data-bbox="352 1140 1747 1183">• Up to 80% of the building façade may be used for ground floor parking<li data-bbox="352 1208 1018 1252">• Freestanding signs are prohibited<li data-bbox="352 1276 1877 1320">• Temporary signs permitted with 1 year renewable permits; mill motif required<li data-bbox="352 1344 1577 1388">• Any deviations from the CBD standards permitted with a CUP

CBD TOD Table

CBD Transit Oriented District

The information contained in this table represents the requirements for development in the CBD District, see Section 170-20 for additional requirements.



Statement of Purpose

This is an area ripe for redevelopment. This area west of Chestnut Street was once the home of coal yards, warehouses, and other supporting structures for the rail line that passes through it. The rail line will be the key to its future success as well. In combination with the associated bus terminal, transportation is the key to future development here. It is envisioned that this could be an area of very dense development along the banks of the Coosco River. In terms of the size and height of buildings, densities approaching those of the Mill District are possible. A wide variety of uses is intended here, with residences dominating upper levels, and retail and commercial activity dominating lower levels.

Dimensional Regulations

Principal Building	
Lot Size	N/A
Minimum Lot Coverage	75% - 100%
Frontage Build Out	80% min
Front Primary Build Ft.	20 ft min. - 6 ft max
Front Secondary Build Ft.	10 ft min. - 6 ft max
Side Setback	10 ft min., 20 ft max
Rear Setback	10 ft min., 20 ft max
Outbuilding/Accessory	
Front Setback	Not permitted
Side Setback	Not permitted
Rear Setback	Not permitted
Private Enclosures	
Canopies	Not permitted
Drain and Fence	Not permitted
Storage / Lightwell	Not permitted
Stoop	permitted
Shopsfront & Awning	permitted
Gallery	permitted
Building Height	
Principal Building	4 story max, 3 story min
Outbuilding/Accessory	2 story max

*CUP may be used to adjust standards

Special Regulations

Setback Location Standards (Sec 170-26) - New construction resulting in additional square footage or an increase in residential units must comply with zoning standards for the rear portion of the building only.

- Parking spaces may be located off-site within 1,000 feet of the proposed use
- Parking spaces may be leased from the City or a private landowner
- Parking spaces shall be screened from the street with a masonry wall, see section 170-20F
- One space per residential unit

Ground Floor Standards

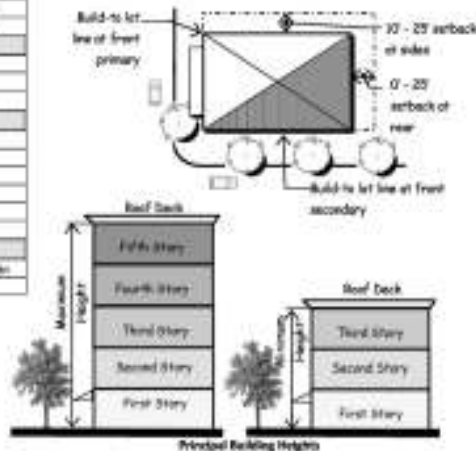
- No less than 30% of the facade shall be windows
- A pedestrian entrance shall be required at the street side or front facade
- No more than 30% of any street facade shall be for parking and must follow Architectural Standards

Streetscape Standards (Sec 170-28.1) - All elements must be consistent with a permit.

- Street trees shall be planted at an average spacing of 25 to 30 feet on center
- Unpaved ground area along the footage shall be planted with appropriate groundcover or shrubs for the space, no bare ground is permitted
- Sidewalks shall be concrete or brick, a maximum of 5 feet wide
- Street furniture shall include:
 - 1 bench for every 50 feet of footage.
 - At least 1 waste bin at each block corner.
 - 1 bike rack per non-residential project.

Architectural Standards (Sec 170-28.2)

- Exterior walls shall be brick, stone, or masonry
- LEED standards or an equivalent standard are encouraged
- Drive-In Services not permitted
- All other standards are optional and may be utilized by the applicant.



1 of 2

Permitted Uses—Central Business District

Uses	General	Mixed Use	Residential	Downtown Gateway	TOD
Residential	Permitted, but not on ground floor, except in an existing use	Permitted, but not on ground floor except in existing structures	Permitted	Permitted, buildings of four or more units on ground floor allowed only if Architectural Standards are followed.	Permitted but not on ground floor, except as an existing use.
Lodging	Permitted	Permitted, up to 12 rooms w/stays up to 14 days	Permitted, up to 12 rooms w/stays up to 14 days	Permitted, up to 12 rooms, 13+ rooms if Arch Standards followed.	Permitted
Professional Services & Offices	Permitted	Permitted	Via CUP	Permitted	Permitted
Eating and Drinking Establishments	Permitted	Not Permitted	Via CUP	Permitted	Permitted
Retail/ Personal Services	Permitted	Permitted	Via CUP	Permitted	Permitted
Industrial	Not Permitted	Not Permitted	Not Permitted	Permitted on Broadway via CUP	Not Permitted
Civic	Permitted	Permitted	Permitted	Permitted	Permitted
Other	Via CUP	Via CUP	Via CUP	Via CUP	Via CUP

For CUP see 170-20 B

TOD Signage Regulations

- Two signs permitted per tenancy, per lot. Maximum total sign area is 1 sf. for each ft. of business footage. Size may be increased if Mill Motif (170-32F) is adhered to
- Freestanding signs are not permitted.
- Projecting signs shall have a maximum size of 24 sf. With a min ht. to bottom of sign of 10 ft. above ground/sidewalk and a max ht. above ground of 25 ft.
- Wall/awning sign shall have a max size of 40 sf.
- Temporary signs are permitted as per 170-30 (E) (3)

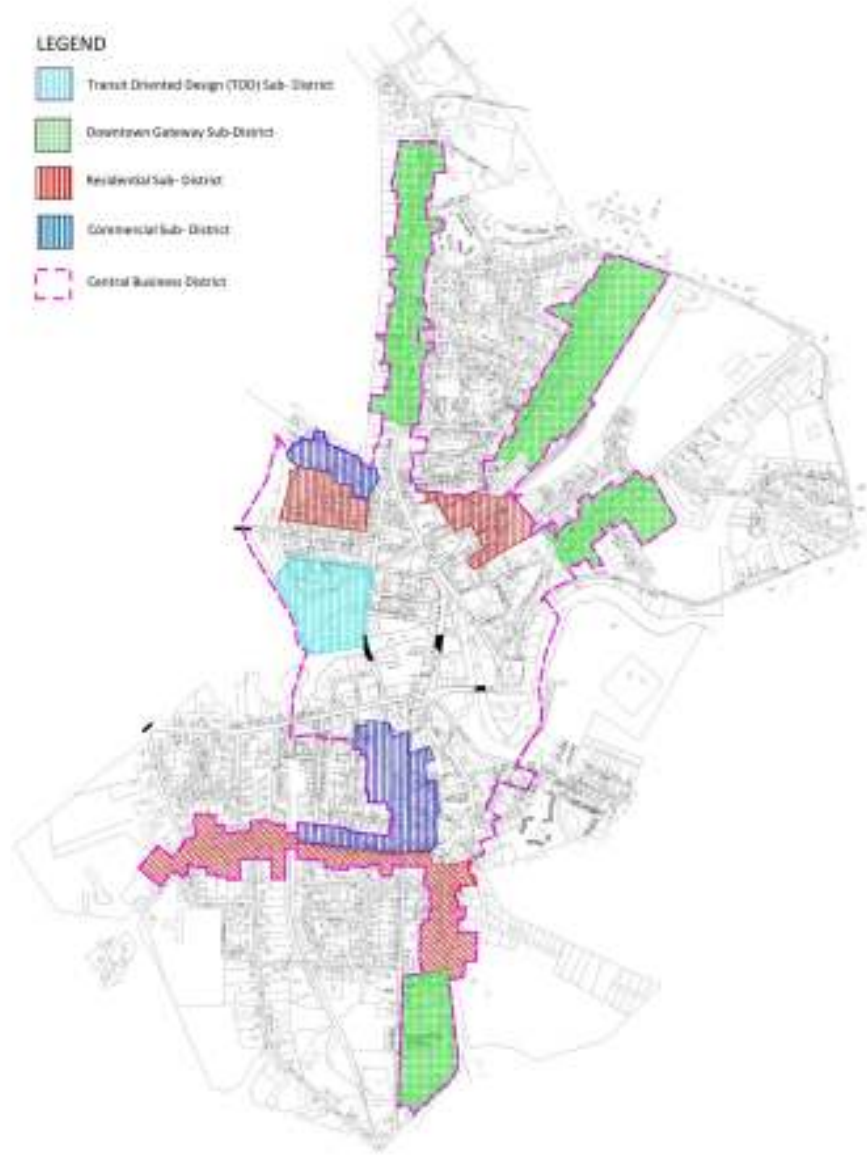
Adult Bookstore, Video Store or Adult Cabaret

[Added 10-20-93 by Ord. No. 28-93] shall be subject to the following conditions:

- An Adult Bookstore, Video Store or Cabaret shall be at least 500 feet from a parcel of land containing an existing residential use.
- An Adult Bookstore, Video Store or Cabaret shall be at least 1000 feet from a parcel of land containing a school, church, community park or public recreational area.
- No adult Bookstore, Video Store or Cabaret shall be permitted within 1000 ft. of an existing similar use.
- The proposed use shall comply with all other state statutes, and city ordinances and codes.

LEGEND

-  Transit Oriented Design (TOD) Sub-District
-  Downtown Gateway Sub-District
-  Residential Sub-District
-  Commercial Sub-District
-  Central Business District



City of Dover, New Hampshire

Regulating Map

10/2013

CBD Regulating Plan Amendments

#	Intent
10	<p>Amends CBD Regulatory Plan as follows:</p> <ul style="list-style-type: none">• Broadway area of CBD (Amendment 2) in the Downtown Gateway sub-district• Portland Ave area of CBD (Amendment 3) in the Downtown Gateway sub-district• Central – South area of CBD (Amendment 4) in the Downtown Gateway sub-district• Central – North area of CBD (Amendment 5) in the Downtown Gateway sub-district• Silver Street/Central Avenue Area of CBD (Amendment 6) in the Residential sub-district• Area bounded by the Cochecho River, Chestnut Street, and Third Street in the Transit Oriented Development (TOD) sub-district• Chestnut Street properties in vicinity of Sixth Street from CBD – Mixed Use to CBD – General

Summary of Regulation Changes

– Downtown Gateway

Dimensional Requirements	Office (O)	Residential Multi-Family Urban (RM-U)	Thoroughfare Business (B-3)	<i>CBD Downtown Gateway Sub-District</i>
Minimum Lot Size	10,000 square feet	10,000 square feet	20,000 sf	<i>n/a</i>
Minimum Frontage	100 feet	80 feet	125 feet	<i>n/a</i>
Minimum Front Building Setback	12 feet	Neighborhood Avg	50 feet	<i>5ft – 20 ft build to</i>
Minimum Rear Building Setback	15 feet	15 feet	15 feet	<i>0 feet</i>
Minimum Side Building Setback	10 feet	15 feet	12 feet	<i>5 feet</i>
Maximum Coverage of a Lot	50 percent	40 percent	50 percent	<i>50 percent minimum</i>
Maximum Height	45 feet	40 feet	40 feet	<i>2 story min 3 story max</i>
Density	1 unit per 5,000 sf	1 unit per 10,000 sf	1 unit per 5,000 sf	<i>n/a</i>

Summary of Regulation Changes – Transit Oriented Development

Dimensional Requirements	CBD General Sub-District	<i>Transit Oriented Development (TOD) Sub-District</i>
Minimum Lot Size	n/a	<i>n/a</i>
Minimum Frontage	n/a	<i>n/a</i>
Minimum Front Building Setback	0 ft. build to	<i>0 ft build to</i>
Minimum Rear Building Setback	10 ft.	<i>0 ft – 25 ft. build to</i>
Minimum Side Building Setback	0 ft – 24 ft. build to	<i>10 ft – 25 ft. build to</i>
Maximum Coverage of a Lot	75 percent minimum	<i>75 percent minimum</i>
Maximum Height	n/a	<i>3 story min 5 story max</i>
Density	n/a	<i>n/a</i>
Residential Parking	1 space per residential unit	<i>2 per unit for 1-2 units 3 per unit for 3 or more units</i>
Parking on Ground Floor	Not Permitted	<i>Permitted up to 80% of the facade</i>

Amendment 2

Broadway

The proposal revises the zoning along Broadway from the existing CBD boundary up to Oak Street. The proposed zoning will follow the boundaries of the properties to be located in the CBD. Because much of the existing zoning of this area is measured from the center line of Broadway, the proposed zoning will adjust portions of off-Broadway lots so those lots are located entirely within their primary zoning district (e.g. R-12 and RM-U).



Dimensional Requirements	Low Density Residential (R-12)	Residential Multi-Family Urban (RM-U)	Thoroughfare Business (B-3)	CBD Downtown Gateway Sub-District
Minimum Lot Size	12,000 square feet	10,000 square feet	20,000 sf	<i>n/a</i>
Minimum Frontage	100 feet	80 feet	125 feet	<i>n/a</i>
Minimum Front Building Setback	Neighborhood Ave	Neighborhood Avg	50 feet	5ft – 20 ft build to
Minimum Rear Building Setback	30 feet	15 feet	15 feet	0 feet
Minimum Side Building Setback	15 feet	15 feet	12 feet	5 feet
Maximum Coverage of a Lot	30 percent	40 percent	50 percent	50 percent minimum
Maximum Height	35 feet	40 feet	40 feet	2 story min 3 story max
Density	1 unit per 12,000 sf	1 unit per 10,000 sf	1 unit per 5,000 sf	<i>n/a</i>

Amendment 3

Portland Ave

The proposal expands the CBD along Portland Avenue northwest to a point located between Hancock Street and Atlantic Avenue (before the gorge). The proposed zoning will follow the boundaries of the properties to be located in the CBD, and will adjust several lots that are split-zoned with the Cochecho Waterfront District so that those lots are located entirely within the CBD.



Dimensional Requirements	Cochecho Waterfront District (CWD)	Residential Multi-Family Urban (RM-U)	CBD Downtown Gateway Sub-District
Minimum Lot Size	0	10,000 square feet	<i>n/a</i>
Minimum Frontage	0 feet	80 feet	<i>n/a</i>
Minimum Front Building Setback	0 feet	Neighborhood Avg	5ft – 20 ft build to
Minimum Rear Building Setback	0 feet	15 feet	0 feet
Minimum Side Building Setback	0 feet	15 feet	5 feet
Maximum Coverage of a Lot	75-100% percent	40 percent	50 percent minimum
Maximum Height	55 feet	40 feet	2 story min 3 story max
Density	1 unit per 1,000 sf	1 unit per 10,000 sf	<i>n/a</i>

Amendment 4

Central Avenue — South

The proposal establishes a CBD boundary in the area bounded by Locust Street, Central Avenue, and Trakey Street.

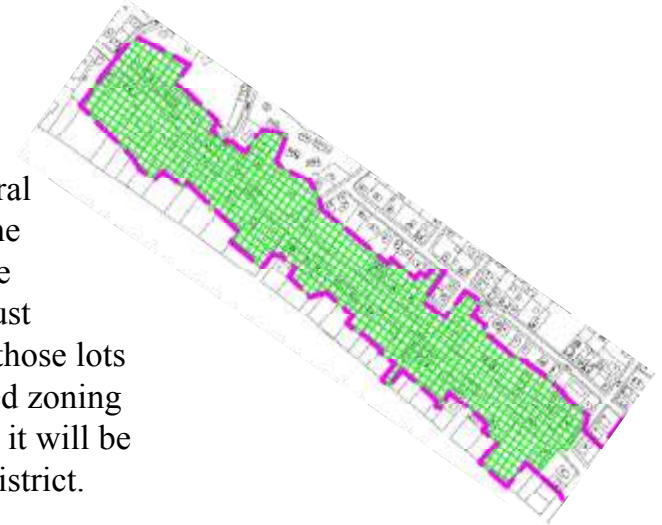


Dimensional Requirements	Office (O)	Residential Multi-Family Urban (RM-U)	Neighborhood Business (B-1)	CBD Downtown Gateway Sub-District
Minimum Lot Size	10,000 square feet	10,000 square feet	10,000 sf	<i>n/a</i>
Minimum Frontage	100 feet	80 feet	100 feet	<i>n/a</i>
Minimum Front Building Setback	12 feet	Neighborhood Avg	15 feet	5ft – 20 ft build to
Minimum Rear Building Setback	15 feet	15 feet	15 feet	0 feet
Minimum Side Building Setback	10 feet	15 feet	10 feet	5 feet
Maximum Coverage of a Lot	50 percent	40 percent	50 percent	50 percent minimum
Maximum Height	45 feet	40 feet	40 feet	2 story min 3 story max
Density	1 unit per 5,000 sf	1 unit per 10,000 sf	1 unit per 10,000 sf	<i>n/a</i>

Amendment 5

Central Avenue - North

The proposal expands the CBD north along Central Avenue to Abbey Sawyer Memorial Highway. The proposed zoning will follow the boundaries of the properties to be located in the CBD, and will adjust several lots that are presently split-zoned so that those lots are located entirely within the CBD. The proposed zoning will also adjust an off-Central lot (28-20), so that it will be located entirely within its primary R-12 zoning district.



Dimensional Requirements	Office (O)	Residential Multi-Family Urban (RM-SU)	Thoroughfare Business (B-3)	CBD Downtown Gateway Sub-District
Minimum Lot Size	10,000 square feet	20,000 square feet	20,000 sf	<i>n/a</i>
Minimum Frontage	100 feet	100 feet	125 feet	<i>n/a</i>
Minimum Front Building Setback	12 feet	50 feet	50 feet	<i>5ft – 20 ft build to</i>
Minimum Rear Building Setback	15 feet	20 feet	15 feet	<i>0 feet</i>
Minimum Side Building Setback	10 feet	20 feet	12 feet	<i>5 feet</i>
Maximum Coverage of a Lot	50 percent	40 percent	50 percent	<i>50 percent minimum</i>
Maximum Height	45 feet	40 feet	40 feet	<i>2 story min 3 story max</i>
Density	1 unit per 5,000 sf	1 unit per 10,000 sf	1 unit per 5,000 sf	<i>n/a</i>

Note: Approximately 0.5 acres of land zoned R-12 and 0.2 acres of land zoned RM-U in this area will be also rezoned to CBD

Amendment 6

Silver Street and Central Avenue

The proposal extends the existing CBD boundary along the north and south sides of Silver to a point past Arch Street, and south on Central Avenue to Trakey Street.



Dimensional Requirements	Low Density Residential (R-12)	Residential Multi-Family Urban (RM-U)	CBD Residential Sub-District
Minimum Lot Size	12,000 square feet	10,000 square feet	<i>n/a</i>
Minimum Frontage	100 feet	80 feet	75 ft.
Minimum Front Building Setback	Neighborhood Ave	Neighborhood Avg	8ft – 15 ft build to
Minimum Rear Building Setback	30 feet	15 feet	15 feet
Minimum Side Building Setback	15 feet	15 feet	10 feet
Maximum Coverage of a Lot	30 percent	40 percent	40 percent
Maximum Height	35 feet	40 feet	2 story min 3 story max
Density	1 unit per 12,000 sf	1 unit per 10,000 sf	<i>n/a</i>

Temporary Sign Amendments

#	Intent
12	<p>Amends the CBD and CWD temporary sign regulations to:</p> <ul style="list-style-type: none"> • Clarify that only one temporary sign is permitted at a time per business • Emphasize that the sign must be placed in front of the building or property in which the business is located • Clarify requirements for signs located on a City sidewalk • Identify which mill motif criteria are applicable to temporary signs • Provide greater flexibility by creating a menu of criteria, rather than requiring strict compliance with all mill motif requirements
13 & 14	<p>Amends the B-3 and B-5 District temporary sign regulations to:</p> <ul style="list-style-type: none"> • Permit temporary signs on a renewable annual basis similar to the CBD • Clarify that only one temporary sign is permitted at a time per business • Emphasize that the sign must be placed in front of the building or property in which the business is located • Clarify requirements for signs located on a City sidewalk

For More Information....

- **The full text will be made available beginning tomorrow:**
 - **On the City’s Web Site: www.dover.nh.gov under “Current Reports”**
 - **In the Planning Department and City Clerk’s Office M-Th 8:30 am to 5:30 pm.**
 - **At the Public Library**
- **Please call 516-6008 with further questions.**
 - ◉ Blog: <http://dovernhplanning.tumblr.com/>
 - ◉ Facebook: www.facebook.com/DoverNHPLanning
 - ◉ Twitter: [@DoverNHPlanning](https://twitter.com/DoverNHPlanning)