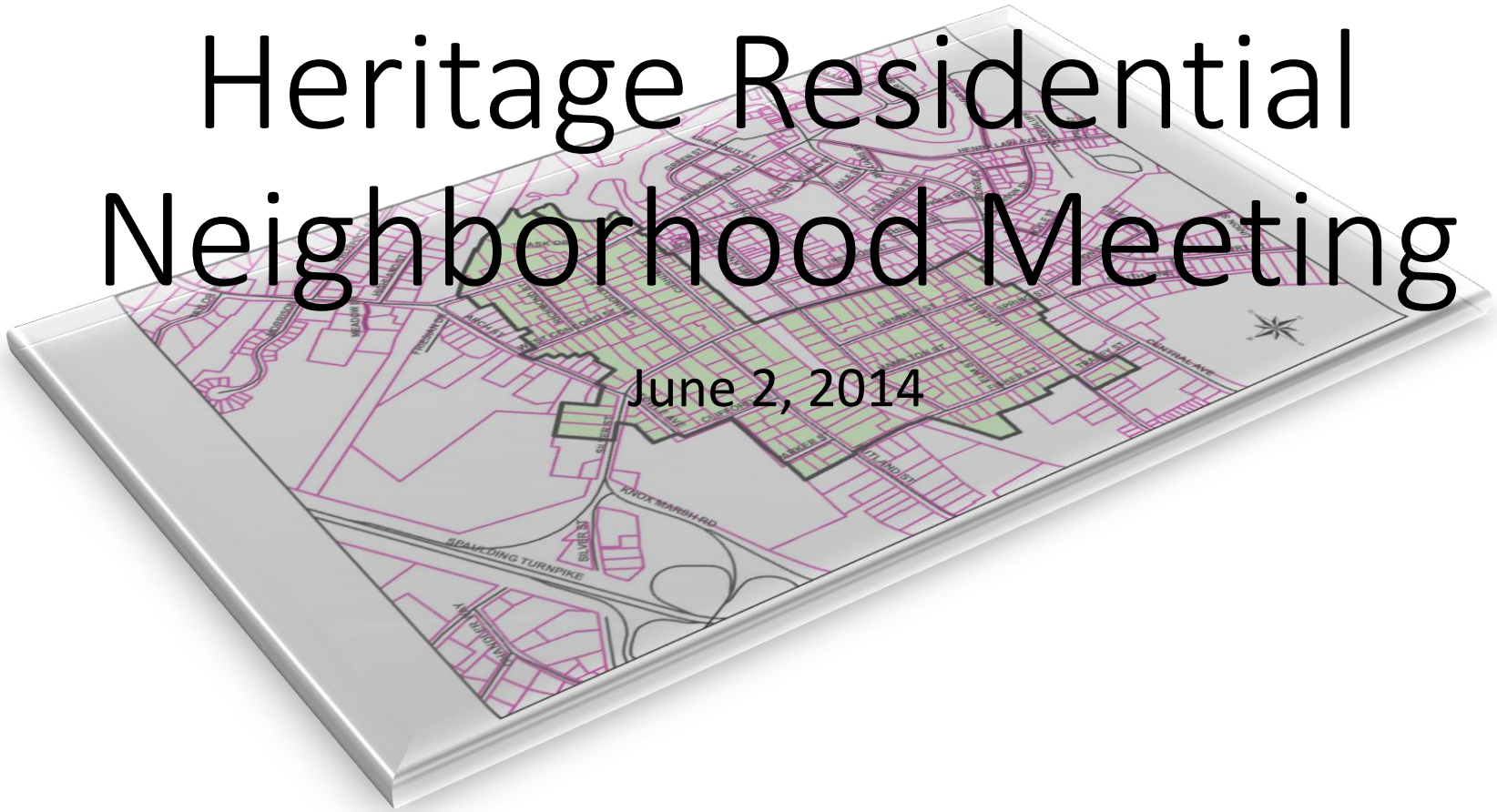


Heritage Residential Neighborhood Meeting

June 2, 2014



Agenda

- Project Overview
- Goals of the Project
- Feedback from April 23
- Expanded Project Area
- Dimensional Regulations
- Current vs Proposed Uses
- Architectural Standards



Project Overview/Timeline

- 2013 Downtown Gateway Project
- November – public hearings
 - Citizen feedback
- Grant Money
- Inventory
- Neighborhood Session
 - April 23
- Analysis
- Next Steps

Project Goals

- Promote citizen participation in Planning
- Respect and support the heritage of the neighborhood
- Promote context sensitive development



Zoning

- Zoning is the legal classification of property in certain land uses. The concept has been in Dover since 1949.
- Currently, zoning and land use law addresses conflicts between private property rights—rights of ownership— and government’s efforts to create a functional, safe and beautiful community.
- Dover has 18 zones, in 5 categories. In addition to those zones, the City has 10 overriding districts which cover things from Wetlands Protection to Transfer of Development Rights, and conservation areas.
- The Zoning chapter also contains the regulations for signage, fences, parking and loading.

Heritage Zoning vs Historic District

Heritage

- Advisory
- Promote character of homes/neighborhoods
- Guides change, reuse and reinvestment in the neighborhood
- Promotes adaptive reuse of existing structures for residential uses in a manner that also protects their historical and architectural character

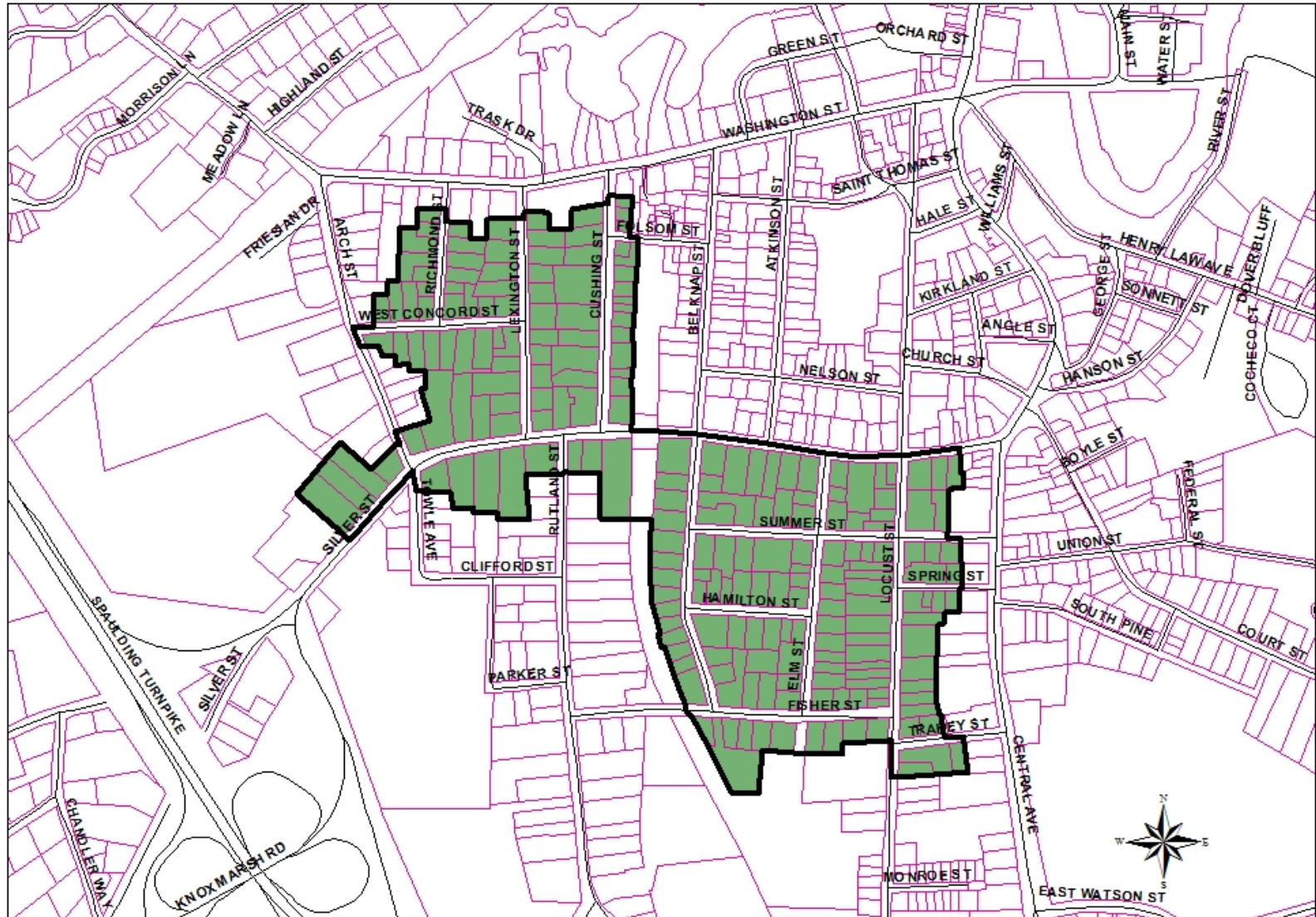
Historic District

- Regulatory
- Council must set up a design review board.
- Board creates a district that is laid out and separate and distinct from other neighborhoods
- Standards are created by Board and enforced by City, through the Board and staff.

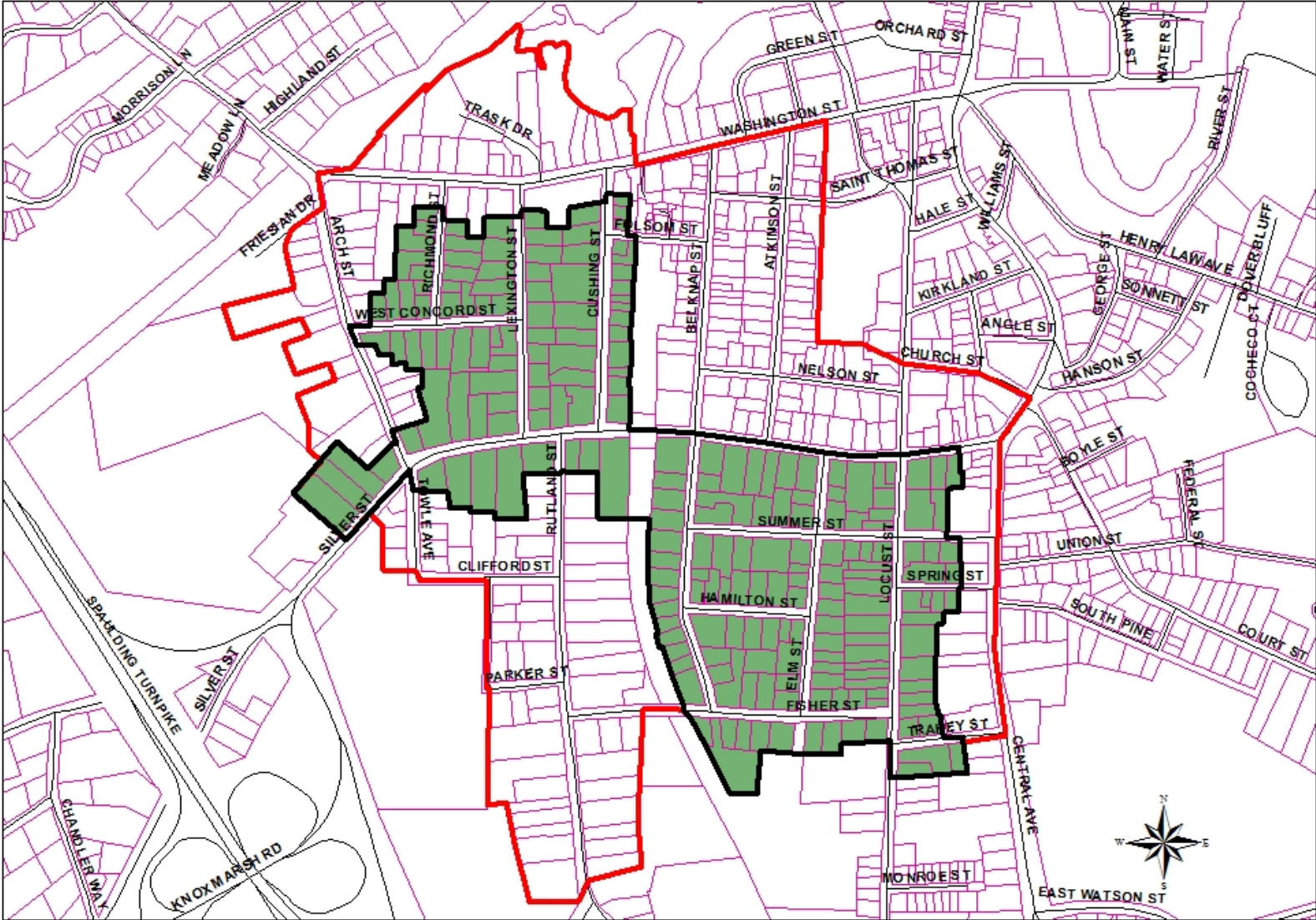
Feedback So Far

- Celebrate a style or different styles?
- Need to address larger quality of neighborhood issues
- Are additions included in the zoning changes?
- Home occupation should still be allowed. Maybe professional business as well?
- Needs regulation for architectural stds.
- Would like specifics for uses
- Side yard, front yard setbacks and lot coverage are important.
- Noise controls.
- Boundary Adjustments
 - Central Ave. and North side of Silver St. should be within district.
 - Washington Street
 - Arch Street
 - Woodman Park area
- Install trees along streets
- Sidewalk improvements needed

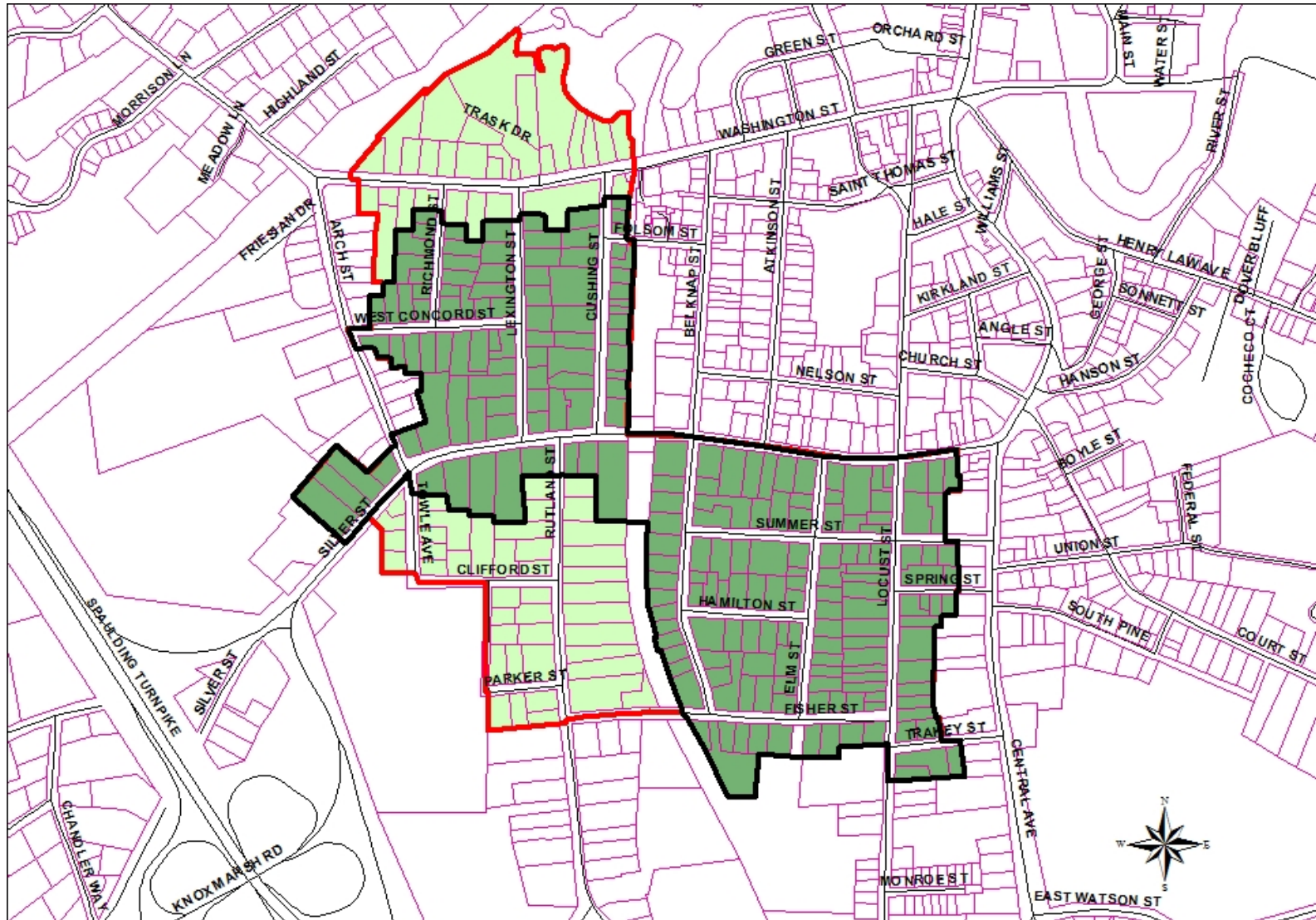
Heritage Residential District Original Proposed Boundary



Heritage Residential District Suggested Boundary

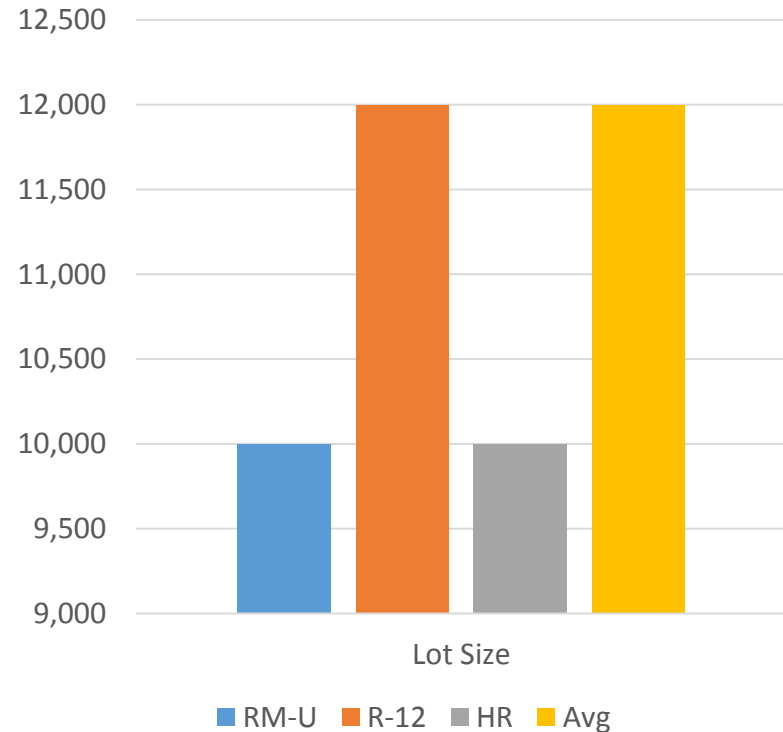


Heritage Residential District Compromise Proposed Boundary



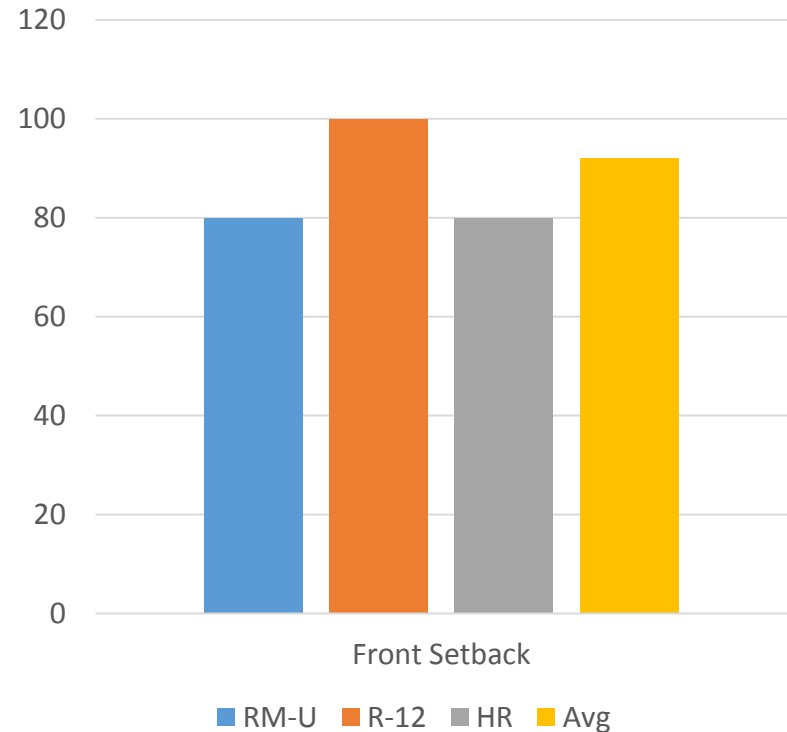
Proposed Dimensional Changes

- **Lot Size**
- Frontage
- Front Setback - Main
- Front Setback - Accessory
- Side Setback
- Rear Setback



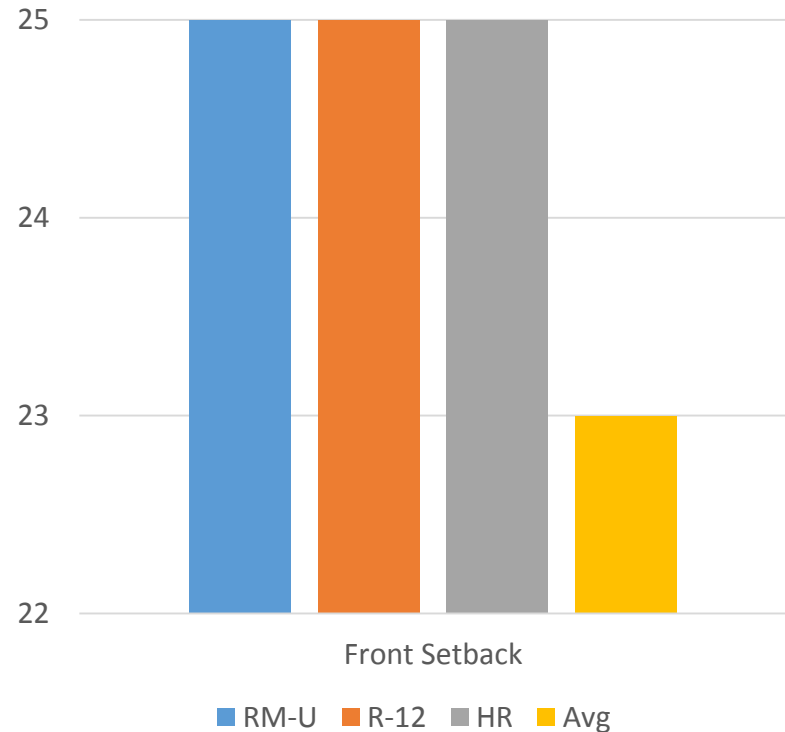
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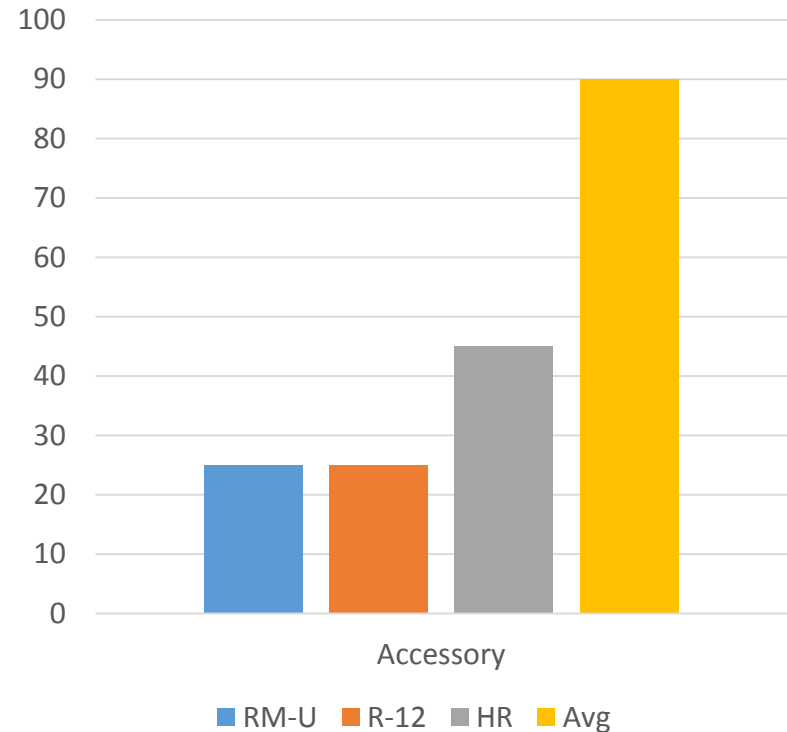
Proposed Dimensional Changes

- Lot Size
- Frontage
- **Front Setback - Main**
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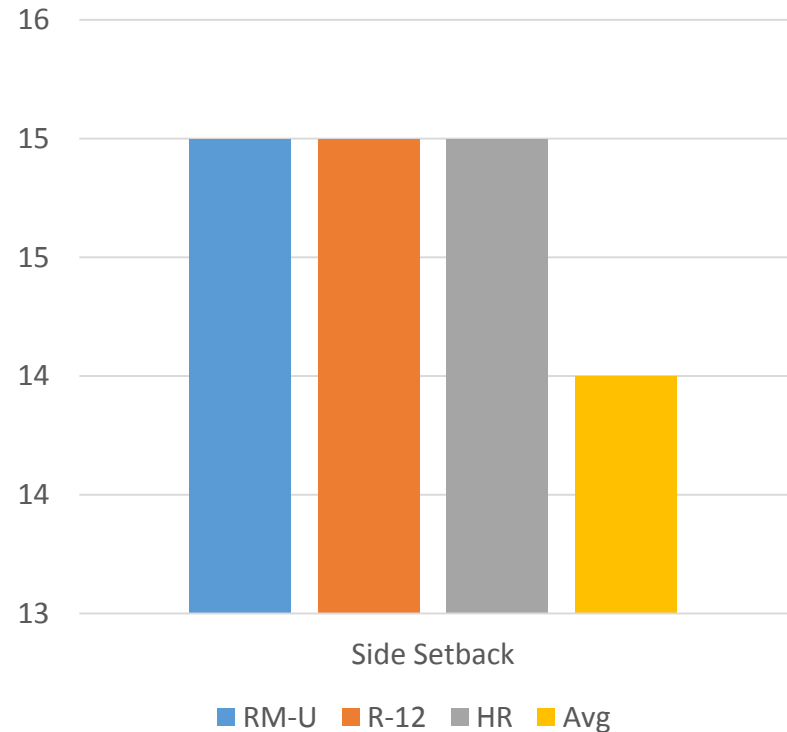
Proposed Dimensional Changes

- Lot Size
- Frontage
- Front Setback - Main
- **Front Setback - Accessory**
- Side Setback
- Rear Setback



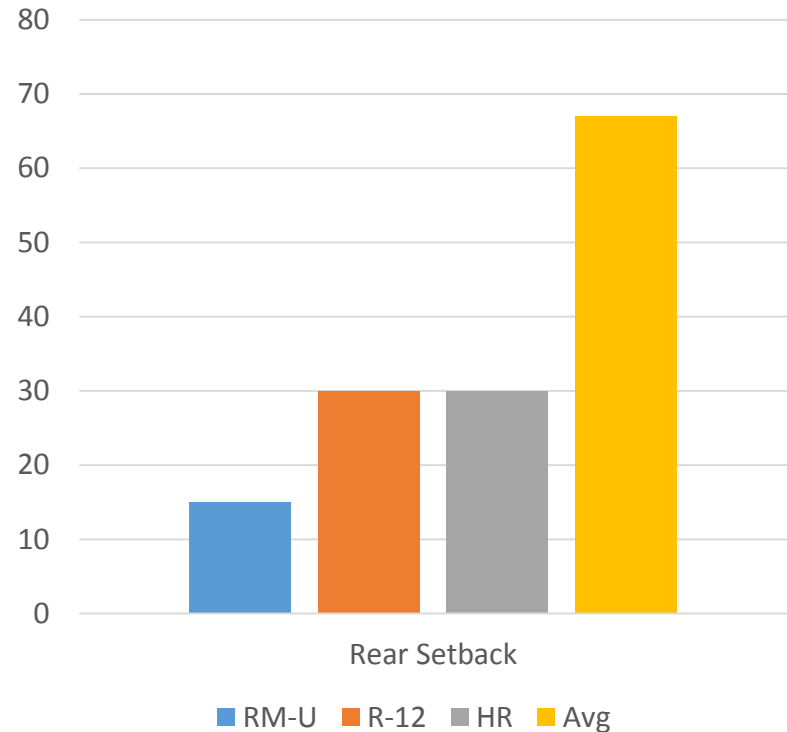
Proposed Dimensional Changes

- Lot Size
- Frontage
- Front Setback - Main
- Front Setback - Accessory
- **Side Setback**
- Rear Setback



Proposed Dimensional Changes

- Lot Size
- Frontage
- Front Setback - Main
- Front Setback - Accessory
- Side Setback
- **Rear Setback**



Proposed Dimensional Changes

- Lot Size 10,000 square feet
- Frontage 80 feet
- Front Setback – Main 10 – 25 foot range
- Front Setback – Accessory 45 foot
- Side Setback 15 foot
- Rear Setback 30 foot
- **Height of Building 24 – 40 foot range**

Proposed Uses

In

- ACCESSORY DWELLING UNIT (R-12/RM-U)
- ADULT DAY CARE (R-12/RM-U)
- BED AND BREAKFAST (R-12)
- CHILD CARE FACILITY (R-12/RM-U)
- CHILD CARE HOME (R-12/RM-U)
- CONVERSION FROM 1 TO 2 UNITS (R-12/RM-U)
- DWELLING, 2 FAMILY (R-12/RM-U)
- DWELLING, SINGLE FAMILY (R-12/RM-U)
- FARM ANIMALS (R-12/RM-U)
- PUBLIC RECREATION (R-12/RM-U)
- PUBLIC UTILITY (R-12/RM-U)
- ROOMING HOUSE (RM-U)
- ROADSIDE FARM STAND (R-12)

Out

- ASSEMBLY HALL (R-12/RM-U)
- CONSERVATION LOT (R-12/RM-U)
- EDUCATIONAL INSTITUTION (R-12)
- FARM (R-12)
- FUNERAL PARLOR (RM-U)
- OFFICE (R-12/RM-U)

Proposed Uses via CUP**

In

- CONVERSION OF EXISTING TO 4 UNITS
- DWELLING, 3 TO 4 FAMILY
- ELDERLY ASSISTED CARE HOME (R-12)
- GROUP HOME FOR MINORS
- RETAIL STORE*

Out

- ASSISTED LIVING FACILITY
- BEAUTY AND BARBERSHOP
- CONGREGATE CARE FACILITY
- CONTINUING CARE COMMUNITY FACILITY
- NURSING HOME

*Silver Street Only

** Conditional Use Permit

Architectural Standards

- **For new construction and additions only**
 - Applicants for new construction shall refer to the Dover Historic Preservation Guide (June, 1991) for examples of architecture and design that is fitting for the Heritage Residential District. **This document is intended to serve as a guide to help encourage and inspire thoughtful and attractive development.**
 - Additions to existing buildings must be designed and constructed in the same architectural style and with the same exterior materials as the existing building, and at a HEIGHT not taller than the existing building. **Deviations from this requirement shall be permitted by Conditional Use Permit.**
- 2 family dwellings shall be designed to look like SINGLE FAMILY DWELLINGS At a minimum, this shall mean that only one entrance shall be visible from a public street.

Architectural Examples



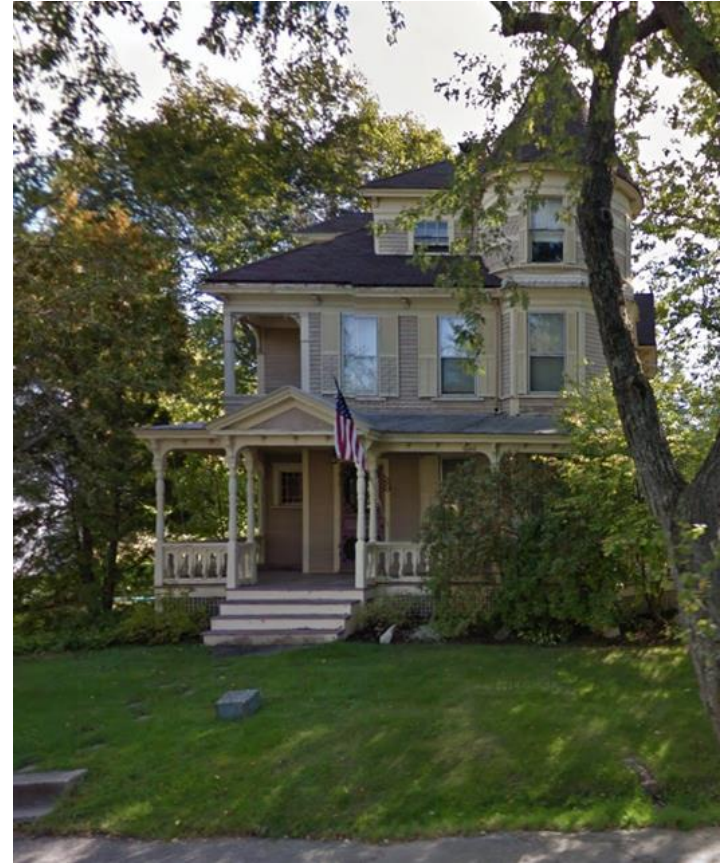
Architectural Examples



Architectural Examples



Architectural Examples



Architectural Examples



Architectural Examples



Architectural Examples



Guidebook

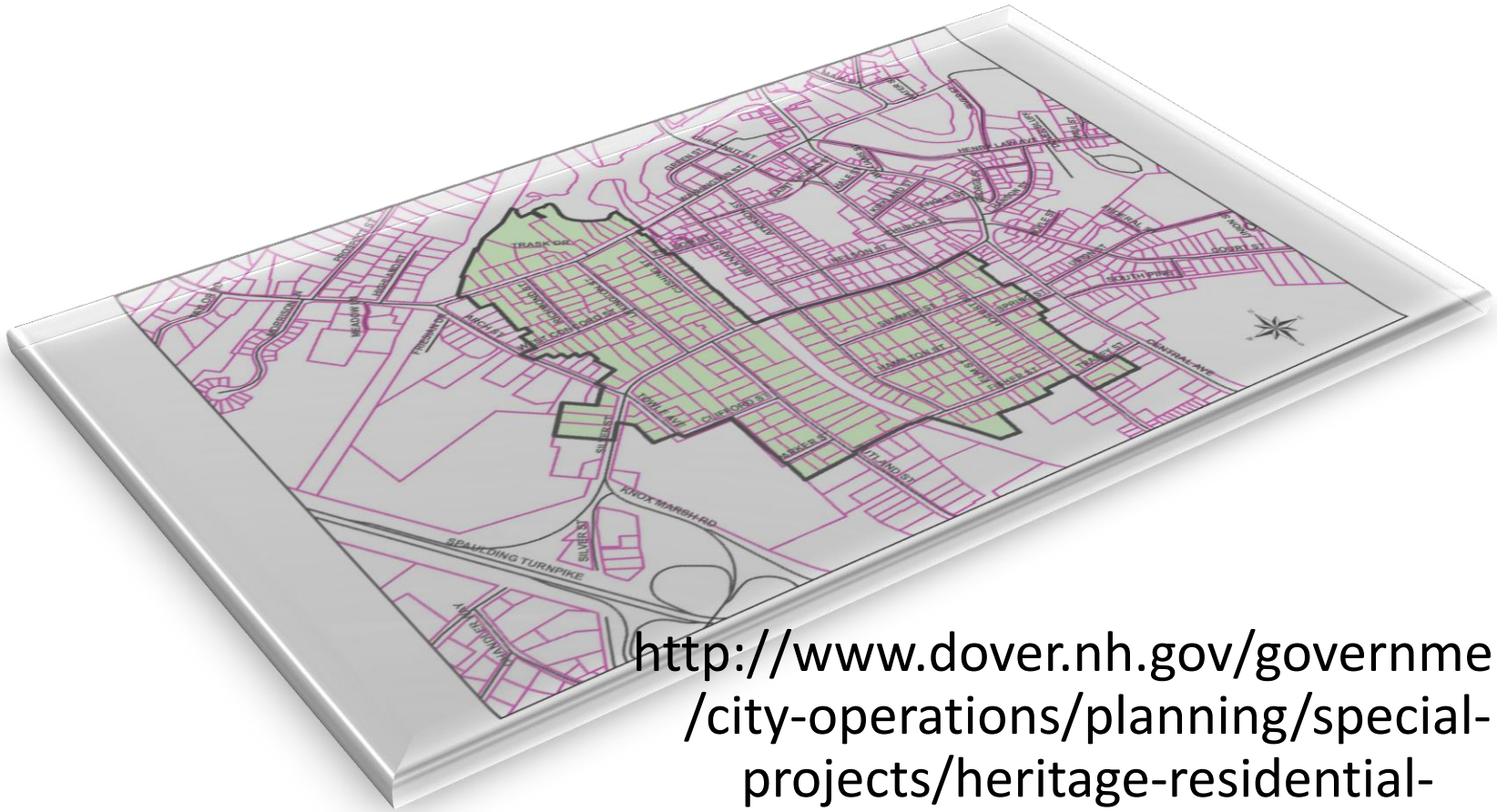
HISTORIC PRESERVATION GUIDE



DOVER, NEW HAMPSHIRE

<http://www.dover.nh.gov/Assets/government/city-operations/2document/planning/outreach/HistoricPreservationGuide.pdf>

Questions?



<http://www.dover.nh.gov/government/city-operations/planning/special-projects/heritage-residential-district/index>